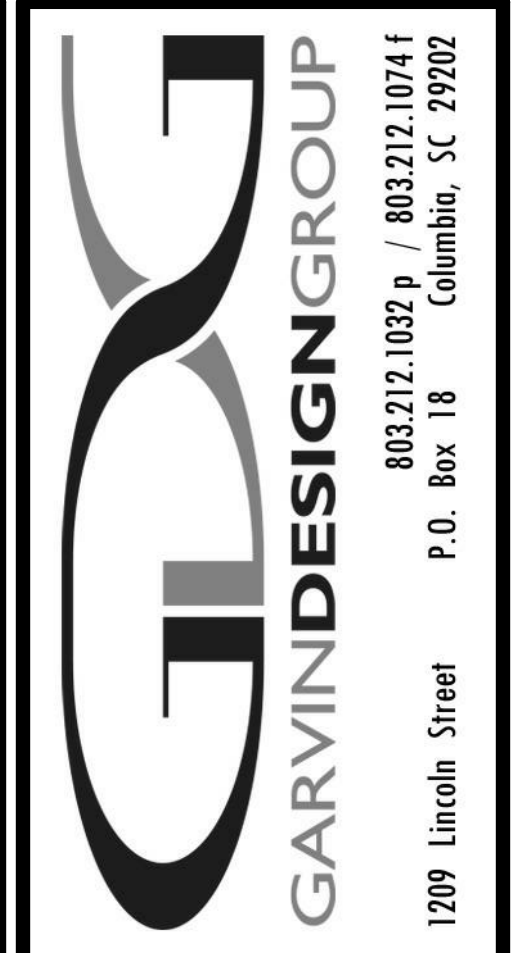


BLATT PHYSICAL EDUCATION CENTER UNIVERSITY OF SOUTH CAROLINA CONVERT THE SQUASH/RBALL CT INTO BIKE SHOP

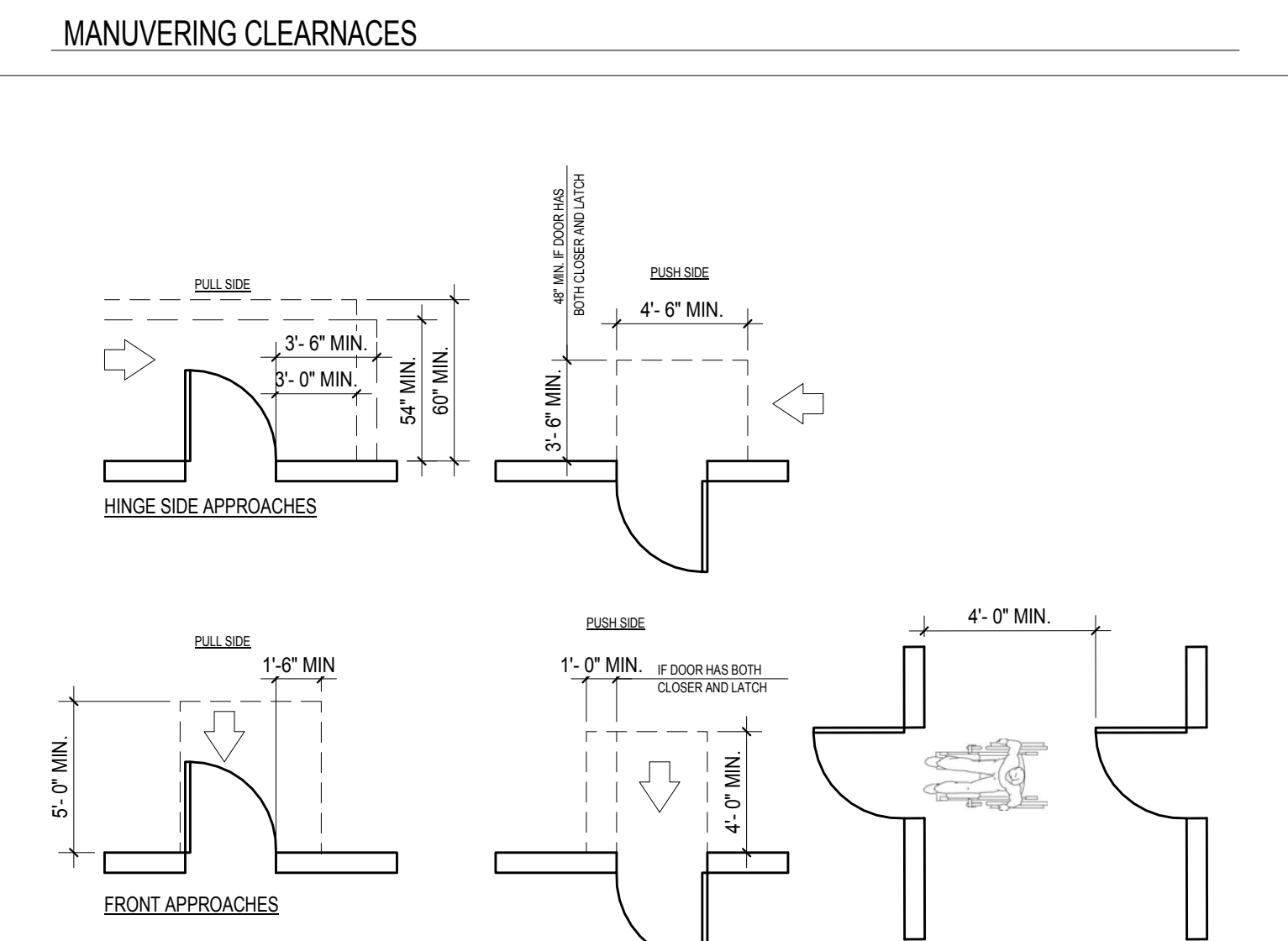
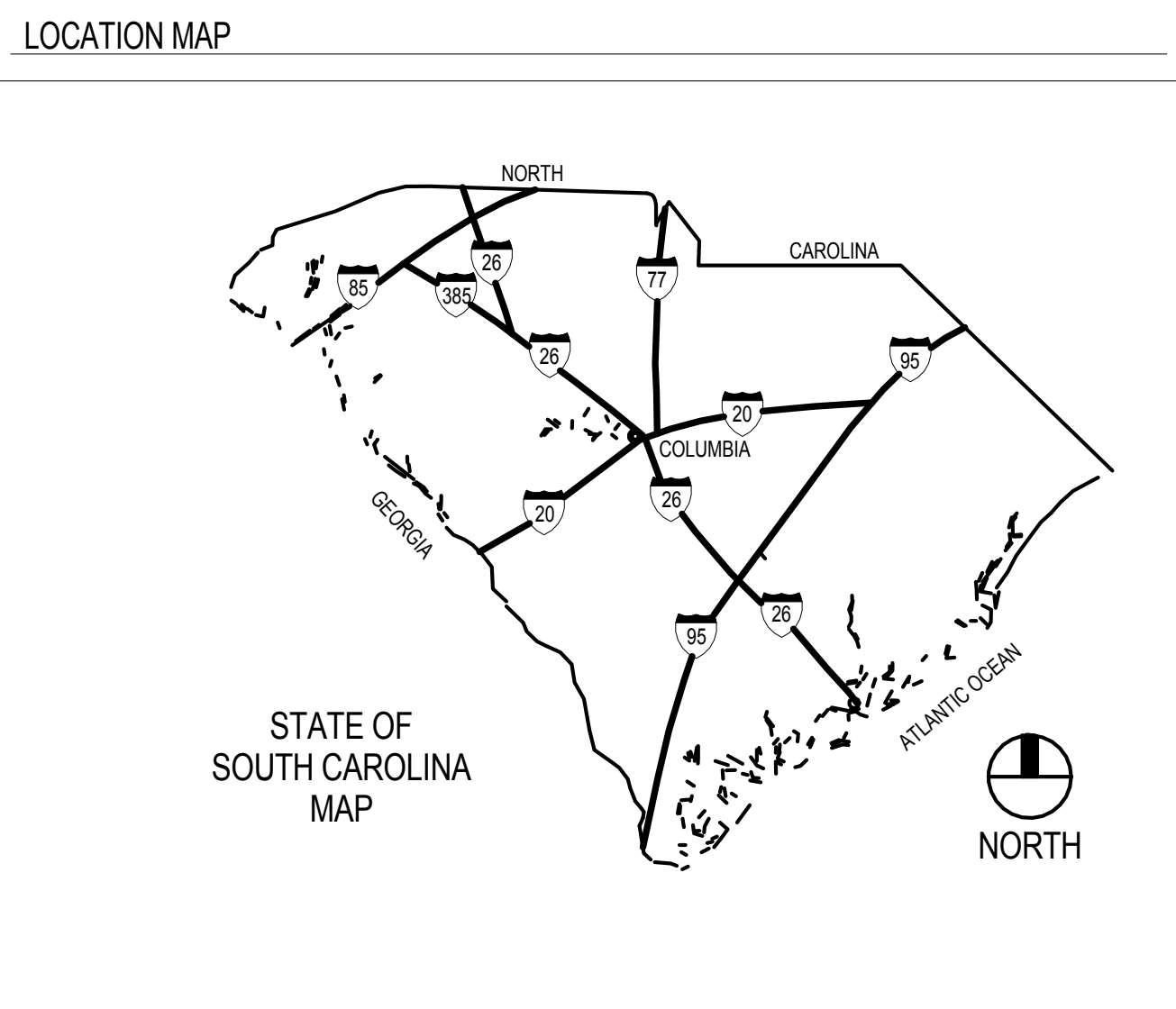
1300 WHEAT STREET
COLUMBIA, SOUTH CAROLINA 29208

Project No. H27-Z134/Architect's Project Number: U347.14

BID DOCUMENTS
07 May 2014



803.212.1032 p. 7 803.212.1074 f
Columbia, SC 29208
1209 Lincoln Street P.O. Box 18



CODE INFORMATION

PROJECT DESIGNED IN ACCORDANCE WITH:
 1. INTERNATIONAL BUILDING CODE (IBC), 2012 EDITION
 2. INTERNATIONAL EXISTING BUILDING CODE (IEBC), 2012 EDITION
 3. INTERNATIONAL FIRE CODE (IFC), 2012 EDITION
 4. INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2009 Edition
 5. INTERNATIONAL FUEL GAS CODE (IFGC), 2012 EDITION
 6. INTERNATIONAL MECHANICAL CODE (IMC), 2012 EDITION
 7. INTERNATIONAL PLUMBING CODE (IPC), 2012 EDITION
 8. NATIONAL ELECTRICAL CODE (NEC) (NFPA-70), 2011 EDITION
 9. NATIONAL ELECTRICAL SAFETY CODE, ANSI-C2-2007 EDITION
 10. STATE FIRE MARSHAL RULES, REGULATIONS AND POLICIES - LATEST EDITION
 11. ASHRAE/IESNA 90.1-2007, ENERGY EFFICIENT DESIGN OF NEW BUILDINGS
 12. ICC/ANSI - A117.1 - 2009, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

BUILDING CODE REVIEW INFORMATION:
 1. OCCUPANCY:
 A. TYPE OF EXISTING BUILDING OCCUPANCY ASSEMBLY GROUP: A.3
 B. ADJACENT EXISTING BUILDING OCCUPANCY ASSEMBLY GROUP: A.4
 C. RENOVATED OCCUPANCY: BUSINESS GROUP: B

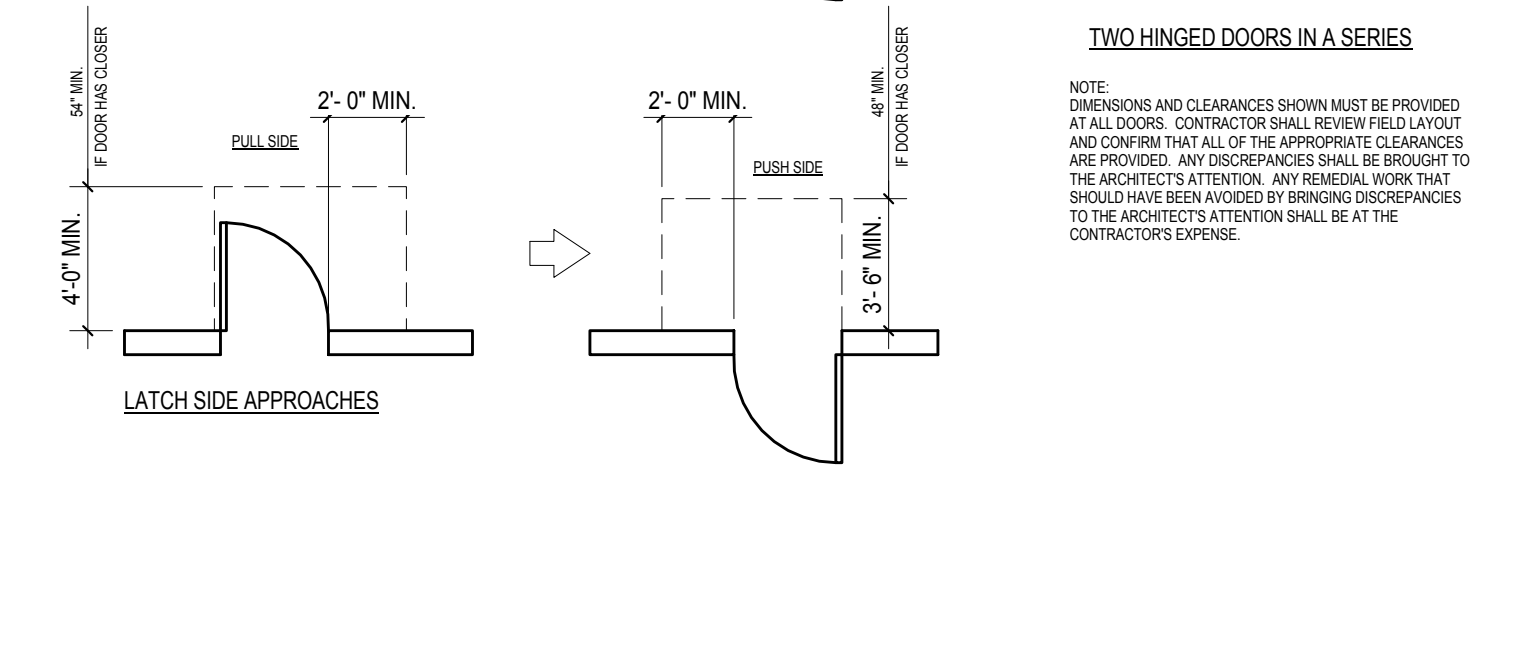
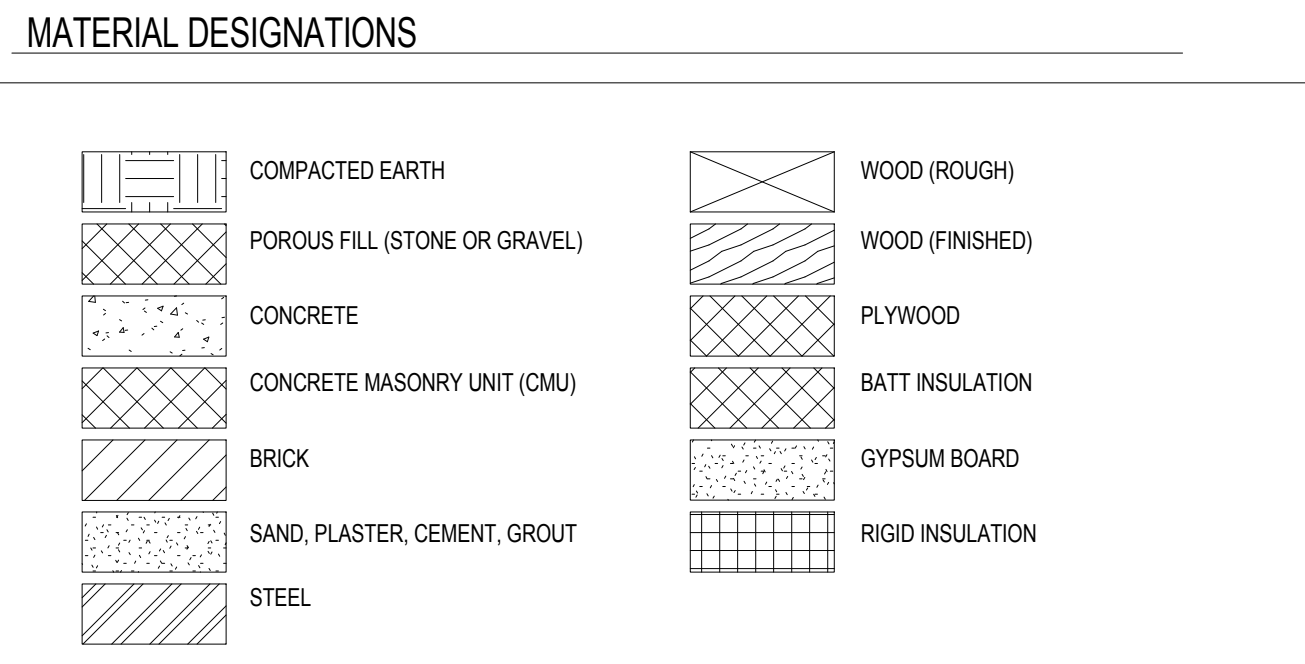
2. TYPE OF CONSTRUCTION: EXISTING CONSTRUCTION
 A. ASSUMED CONSTRUCTION CLASSIFICATION: TYPE I/A

3. SPRINKLERS: NO YES
 4. STANDPIPES: NO YES
 5. HIGH RISE: NO YES

6. GENERAL BUILDING DESIGN, ALLOWABLE AREA, AND HEIGHT:
 1935 GSF WITHIN EXISTING FIRST FLOOR SPACE OF EXISTING 273,000 SF, 3-STORY STRUCTURE.

INDEX TO DRAWINGS

NO.	TITLE SHEET
T1.1	TITLE SHEET
X1.1	LIFE SAFETY PLANS
C1.0	EXISTING CONDITIONS - SITE DEMO PLAN
C2.0	SITE LAYOUT PLAN
C3.0	GRADING AND DRAINAGE PLAN
C4.0	SEDIMENT AND EROSION CONTROL PLAN
C5.0	SITE DETAILS
L1.0	LANDSCAPE PLAN
D1.1	DEMOLITION PLANS AND DEMOLITION ELEVATIONS
D2.1	DEMOLITION REFLECTED CEILING PLANS
A1.1	FIRST FLOOR PLAN AND INTERIOR ELEVATIONS
A2.1	REFLECTED CEILING PLANS
A3.1	PARTITION TYPES
A4.1	BUILDING ELEVATIONS
A5.1	BUILDING SECTION, WALL SECTIONS, AND CEILING DETAILS
A7.1	DOORS AND STOREFRONT
A8.1	FINISH PLANS AND SCHEDULES
A9.1	EXTERIOR PLATFORM, STAIR, AND RAILING DETAILS
S0.1	NOTES AND TYPICAL DETAILS
S1.1	FOUNDATION PLAN
S2.1	WALL SECTIONS
M1.1	FIRST FLOOR PLAN
M2.1	SECOND FLOOR PLANS
P1.1	FIRST FLOOR PLANS
P2.1	DETAILS, NOTES, SCHEDULES, AND LEGEND
E1.0	ELECTRICAL DEMOLITION PLANS
E2.0	ELECTRICAL RENOVATION PLANS
E3.0	PANELBOARD SCHEDULE & DETAILS

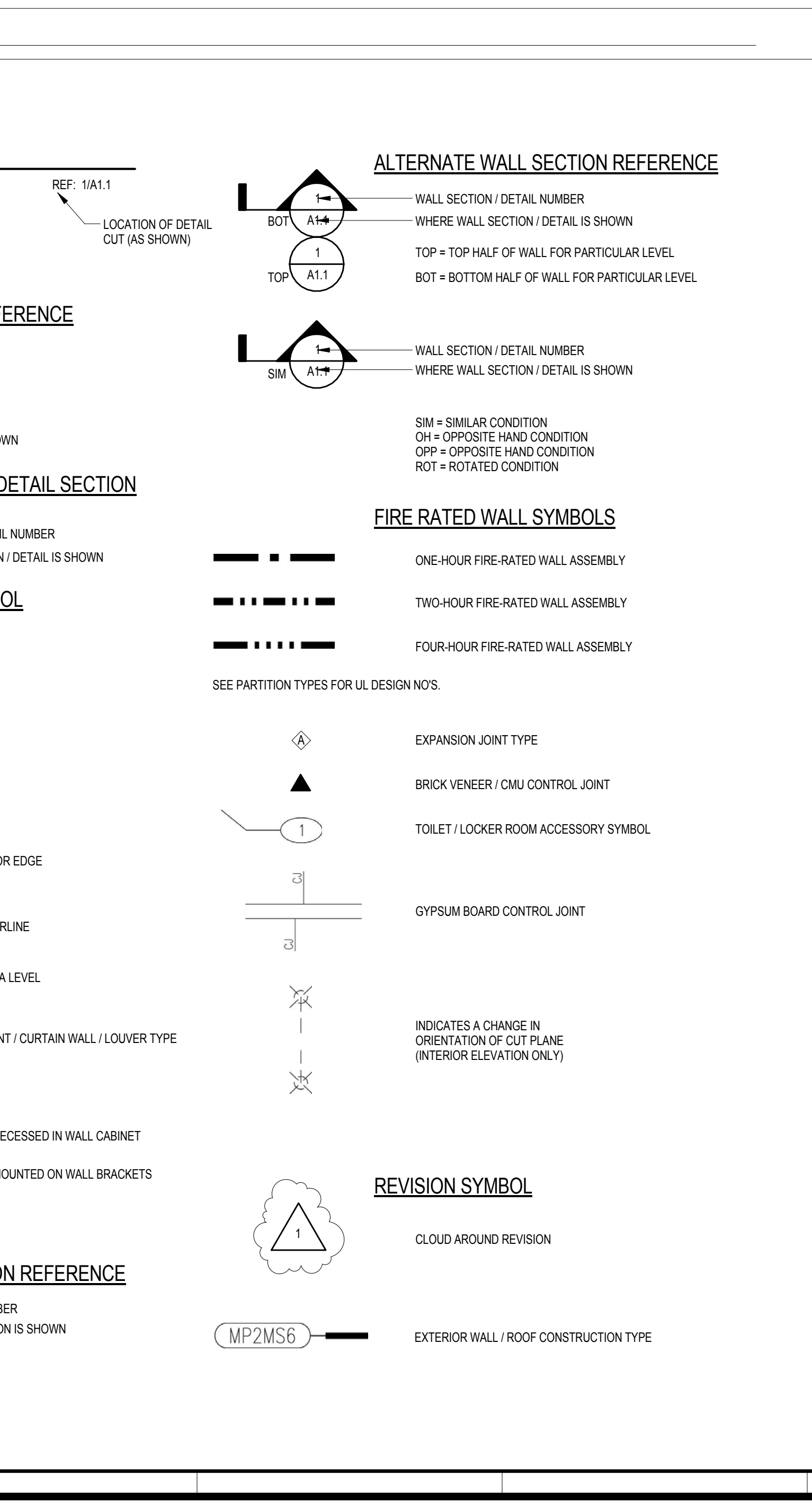


EGRESS OCCUPANCY CALCULATIONS

OCCUPANCY TYPE (PER SPACE)	OCCUPANCY FLOOR AREA	FLOOR AREA IN SFOCCUPANT	DESIGN OCCUPANT LOAD	OCCUPANCY FLOOR AREA	FLOOR AREA IN SFOCCUPANT	DESIGN OCCUPANT LOAD
BUSINESS (1ST FLOOR RENOVATION)	1750	36 (ORGANISER/RECEIVE ROOM)	35	1750	100 GROSS	18
MECHANICAL (SECOND FLOOR RENOVATION)				185	300 GROSS	1
			EXISTING TOTAL OCCUPANT LOAD (BEFORE RENOVATION)			NEW TOTAL OCCUPANT LOAD
			35			19

ABBREVIATIONS

ANGLE
 AFF ABOVE FINISH FLOOR
 ALUM ALUMINUM
 ARCH ARCHITECTURAL
 BLDG BUILDING
 BU BUILT UP ROOF
 C CENTERLINE
 C/J CONTROL JOINT
 CLG CEILING
 CTR CENTER
 CONC CONCRETE
 CMU CONCRETE MASONRY UNIT
 CONT CONTINUOUS
 DIA DIAMETER
 DS DOWN SPOUT
 DWG DRAWING
 EXT EXTERIOR
 EXST EXISTING
 EA EACH
 EJ EXPANSION JOINT
 ELEC ELECTRICAL
 EL ELEVATION
 ELEV ELEVATION
 EQIP EQUIPMENT
 EWC ELECTRIC WATER COOLER
 FIN FINISH
 FD FLOOR DRAIN
 FOF FACE OF FINISH
 FOS FACE OF STUD
 FR FIRE RETARDANT
 FV FIELD VERIFY
 GA GAUGE
 GYP BD GYPSUM BOARD
 HM HOLLOW METAL
 HORIZ HORIZONTAL
 HT HEIGHT
 HVAC HEATING VENTILATION AIR-CONDITIONING
 ID INSIDE DIAMETER
 INSUL INSULATION
 JOINT JOINT
 LAV LAVATORY
 MAX MAXIMUM
 MECH MECHANICAL
 MFR MANUFACTURER
 MN MINIMUM
 MO MASONRY OPENING
 NIC NOT IN CONTRACT
 NOM NOMINAL
 NTS NOT TO SCALE
 OC ON CENTER
 OD OUTSIDE DIAMETER
 OPNG OPENING
 OPP OPPOSITE
 P PAINT
 PR PAR
 PL PLATE, PROPERTY LINE
 PT PRESSURE TREATED
 R.RAD RADIUS
 REQD REQUIRED
 RD ROOF DRAIN
 RO ROUGH OPENING
 RO SQUARE FEET
 SIM SIMILAR
 SPEC SPECIFICATIONS
 SS STAINLESS STEEL
 STD STANDARD
 STR STRUCTURAL
 SUSP SUSPENDED
 TOS TOP OF STEEL
 TOW TOP OF WALL
 TYP TYPICAL
 UNO UNLESS NOTED OTHERWISE
 VERT VERTICAL
 VCT VINYL COMPOSITION TILE
 W WITH
 WC WATER CLOSET
 WR WATER RESISTANT
 WWF WELDED WIRE FABRIC
 WD WOOD



FIRE RESISTANCE RATING OF BUILDING ELEMENTS - EXISTING BUILDING ASSUMED TYPE I/B

BUILDING ELEMENT	RATING AS REQUIRED (IN HOURS)	RATING AS TESTED (IN HOURS)	TESTING AGENCY & DESIGN NUMBER (UL FILE # ETC.)
PRIMARY STRUCTURAL FRAME (PER IBC TABLE 601)	2	EXISTING	
BEARING WALLS, EXTERIOR (PER IBC TABLE 601)	2	EXISTING	
BEARING WALLS, INTERIOR (PER IBC TABLE 601)	2	EXISTING	
NONBEARING WALLS & PARTITIONS, EXTERIOR (PER IBC TABLE 602)	0	EXISTING	FIRE SEPARATION DISTANCE ≥ 30' (TABLE 602)
NONBEARING WALLS & PARTITIONS, INTERIOR (PER IBC TABLE 601)	0	0	
FLOOR CONSTRUCTION AND SECONDARY MEMBERS (PER IBC TABLE 601)	2	EXISTING	
ROOF CONSTRUCTION AND SECONDARY MEMBERS (PER IBC TABLE 601)	1	EXISTING	
FIRE WALLS (PER IBC SECTION 703)	3	EXISTING	
FIRE BARRIERS (PER IBC SECTION 703)	2	EXISTING	
SHAFT ENCLOSURES (PER IBC SECTION 708)	N/A	EXISTING	
FIRE PARTITIONS (PER IBC SECTION 709 & TABLE 1018.1)	1	1	CORRIDOR FIRE-RESISTANCE RATING [TABLE 1018.1]

STRUCTURAL DESIGN INFORMATION:
 * SEE S0.1 FOR STRUCTURAL CODE INFORMATION

GENERAL DESIGN INFORMATION:
 * SEE IBC 508.2. THE RENOVATED AREA (1935 SF) IS AN ACCESSORY OCCUPANCY TO THE EXISTING BUILDING (APPROX. 237,000 SF). NO SEPARATION IS REQUIRED BETWEEN ACCESSORY OCCUPANCIES AND THE MAIN OCCUPANCY.
 * ALL AREAS NOT INCLUDED IN THE RENOVATION SCOPE ARE TO REMAIN AS CURRENTLY DESIGNED.

MECHANICAL INFORMATION:
 1. OVERALL THERMAL TRANSFER VALUE (OTTV): 32.8 BTU/HR.FT²(WALL) 0 (ROOF)
 2. COOLING LOAD: 87 MBH SECTION 215
 3. HEATING LOAD: 77.2 MBH BTU/USE 229
 4. OUTSIDE AIR OCCUPANTS: 10 CFM/300 FROM EXISTING CENTRAL SYSTEM
 5. INSULATION R-VALUE: ROOF: EXISTING EXTERIOR WALLS: EXISTING
 6. GLASS: LEACOLOR: EXISTING WINDOW/TOTAL: EXISTING 25%

THE MECHANICAL SYSTEM CONSISTS OF A SINGLE DUCT VARIABLE AIR VOLUME BOX WITH HOT WATER COIL AND A DUCTLESS SPLIT SYSTEM HEAT PUMP.

ELECTRICAL INFORMATION:
 1. SERVICE TRANSFORMER: BY UTILITY 150 KVA PRIMARY, 12.47 KV/3-PHASE
 2. PROVIDE THE FOLLOWING SERVICE INFORMATION:
 SERVICE VOLTAGE/PHASE: EXISTING
 SERVICE ENTRANCE CONDUCTORS SIZE: EXISTING
 TOTAL CONNECTED LOAD: EXISTING
 ESTIMATED MAXIMUM DEMAND: EXISTING
 AVAILABLE FAULT CURRENT IN SYMMETRICAL AMPERES: EXISTING
 TYPE OF GROUNDING ELECTRODE SYSTEM(S) PER NEC 250-C: EXISTING

3. EMERGENCY GENERATOR: NO
 4. EXT. EMERGENCY LIGHTS BACKUP POWER: INTEGRAL BATTERY
 5. FIRE ALARM SYSTEM: ADDRESSABLE
 6. LIGHTING PROTECTION PROVIDED: NO
 7. COMMUNICATIONS COORDINATED: NOT REQUIRED

PLUMBING INFORMATION:
 1. WATER SYSTEM: SERVICE LINE SIZE: 1.1/4 INCHES PEAK: 31 GPM TOTAL DEMAND: 15.5 F.U.
 2. SANITARY SEWER SYSTEM LOADING: 26 GPD/PERSON SLOPE: 0.125 INCHES PER FOOT
 3. SERVICE LINE SIZE: 4 INCHES

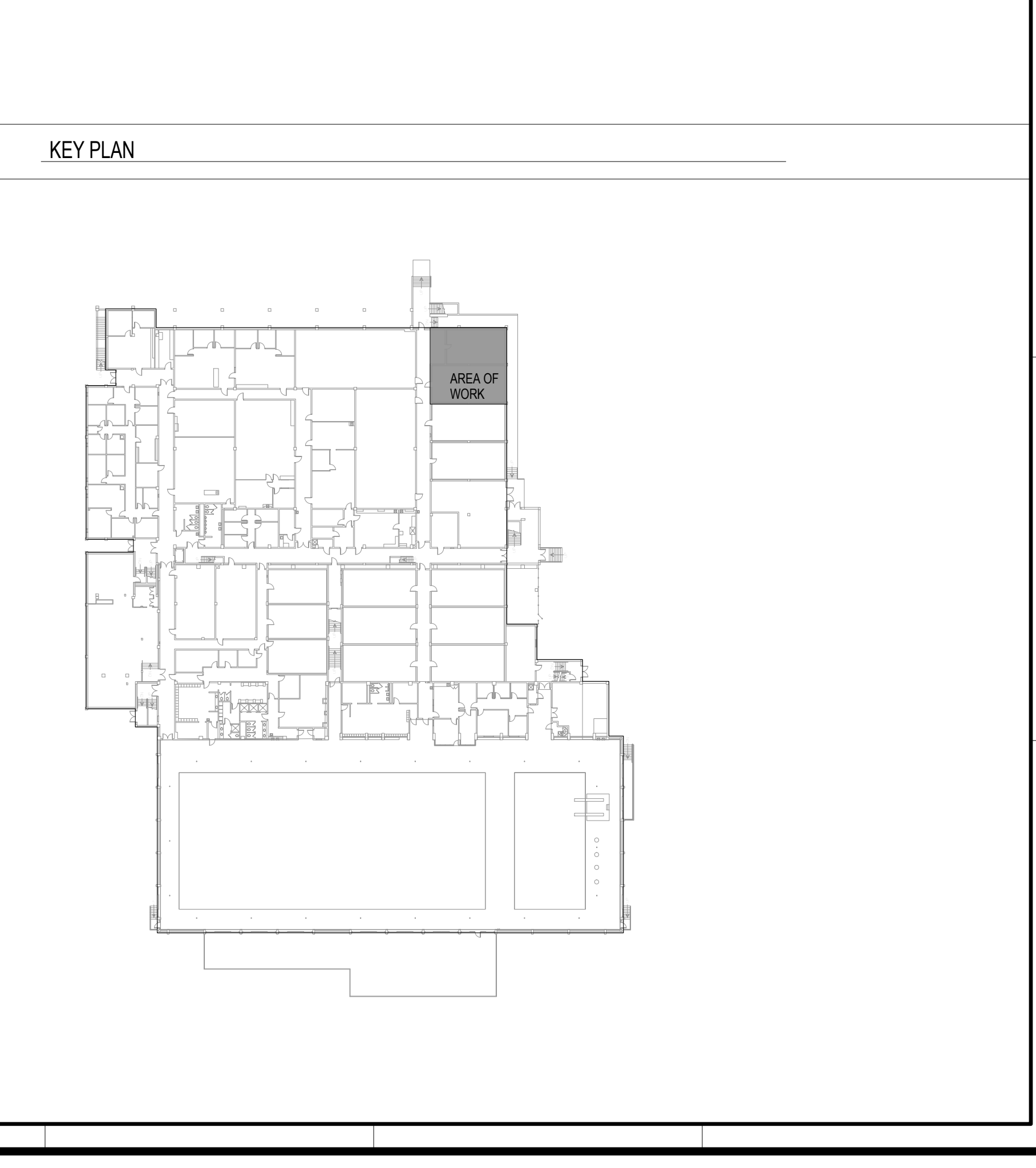
PLUMBING FIXTURE CALCULATIONS:
 * NEW TOILET AND SINK PROVIDED FOR CONVENIENCE. DECREASED OCCUPANCY LOAD DOES NOT REQUIRE ADDITIONAL PLUMBING FIXTURES.

SCOPE OF ALTERNATE WORK

ALTERNATE NO. 1:
 SEE MECHANICAL DRAWINGS. ALL WORK ASSOCIATED WITH SHP-1/DAHU-1 SHALL BE INCLUDED AS ALTERNATE NO. 1.

ALTERNATE NO. 2:
 PROVIDE STAINLESS STEEL GUARDRAIL/HANDRAIL INCLUDING ALL VERTICAL POSTS, TOP PLATES, BRACKETS, RAILINGS, ETC. ALTERNATE SHOULD REFLECT DIFFERENCE IN COST BETWEEN STAINLESS STEEL AND BASE BID RAILING SYSTEM.

PAINTED METAL GUARDRAIL/HANDRAIL INCLUDING ALL VERTICAL POSTS, TOP PLATES, BRACKETS, RAILINGS, ETC. SHALL BE PROVIDED IN THE BASE BID. CABLE RAILINGS SHALL BE INCLUDED IN THE BASE BID.



CONVERT THE SQUASH/RBALL CT INTO BIKE SHOP

1300 Wheat Street
Columbia, SC 29208
Project No.: H27-Z134

TITLE SHEET

PROJECT NO. U347.14
 DATE 06.07.14
 DRAWING NO. T1.1

GENERAL NOTES - LIFE SAFETY

1. SEE CODE RELATED INFORMATION ON SHEET T1.1
2. MAXIMUM TRAVEL DISTANCE TO AN EXIT = 200 FEET
3. EXIT SIGNS ARE SHOWN ON ELECTRICAL DRAWINGS

LEGEND - LIFE SAFETY

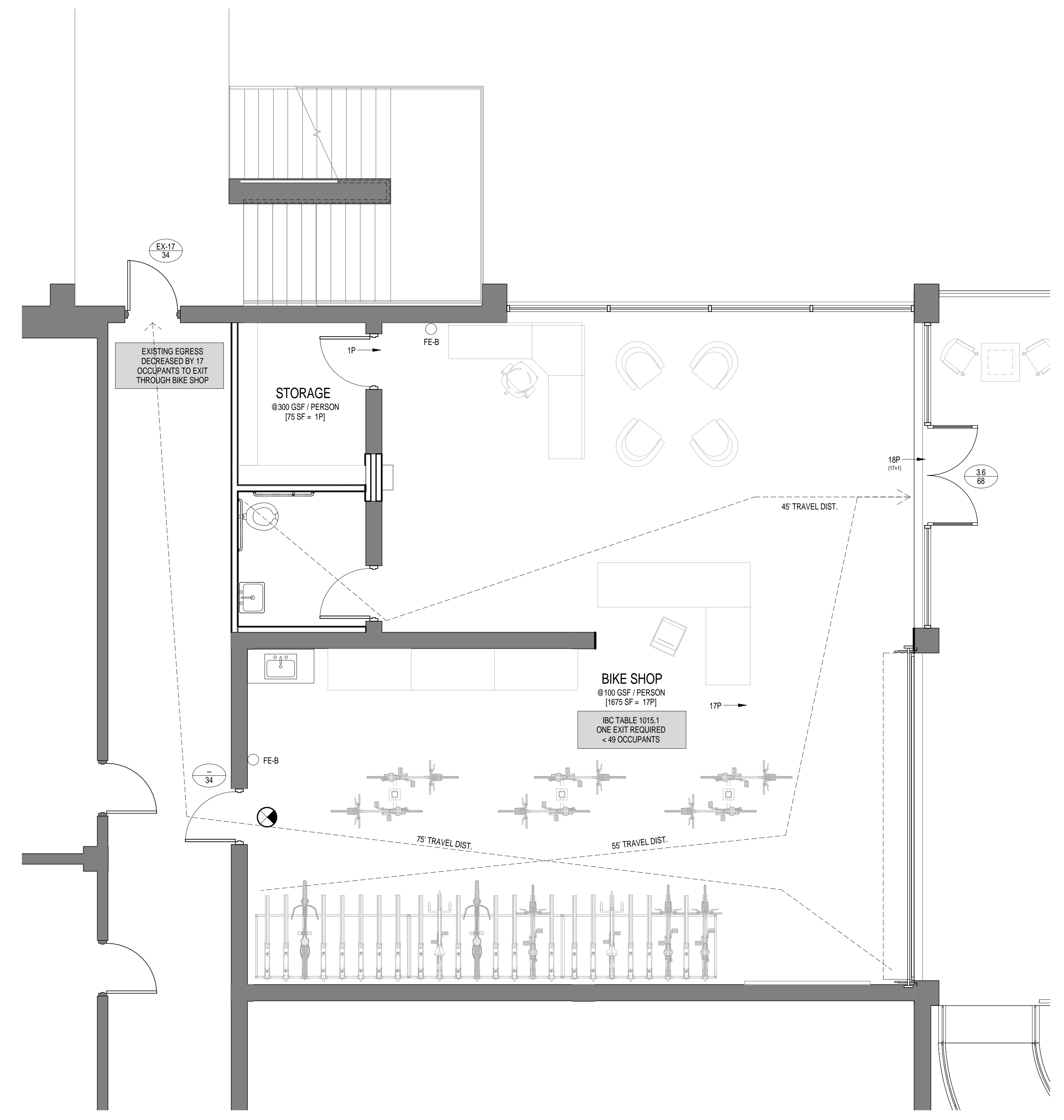
- ONE-HOUR FIRE-RATED WALL ASSEMBLY
- TWO-HOUR FIRE-RATED WALL ASSEMBLY
- HALF-HOUR FIRE-RATED WALL ASSEMBLY
- SEE PARTITION TYPES FOR UL DESIGN NOS.
- FIRE EXTINGUISHER RECESSED IN WALL CABINET
- FIRE EXTINGUISHER MOUNTED ON WALL BRACKETS
- EXIT LIGHTS - SEE ELECTRICAL DRAWINGS FOR LOCATIONS

EGRESS WIDTH SYMBOLS

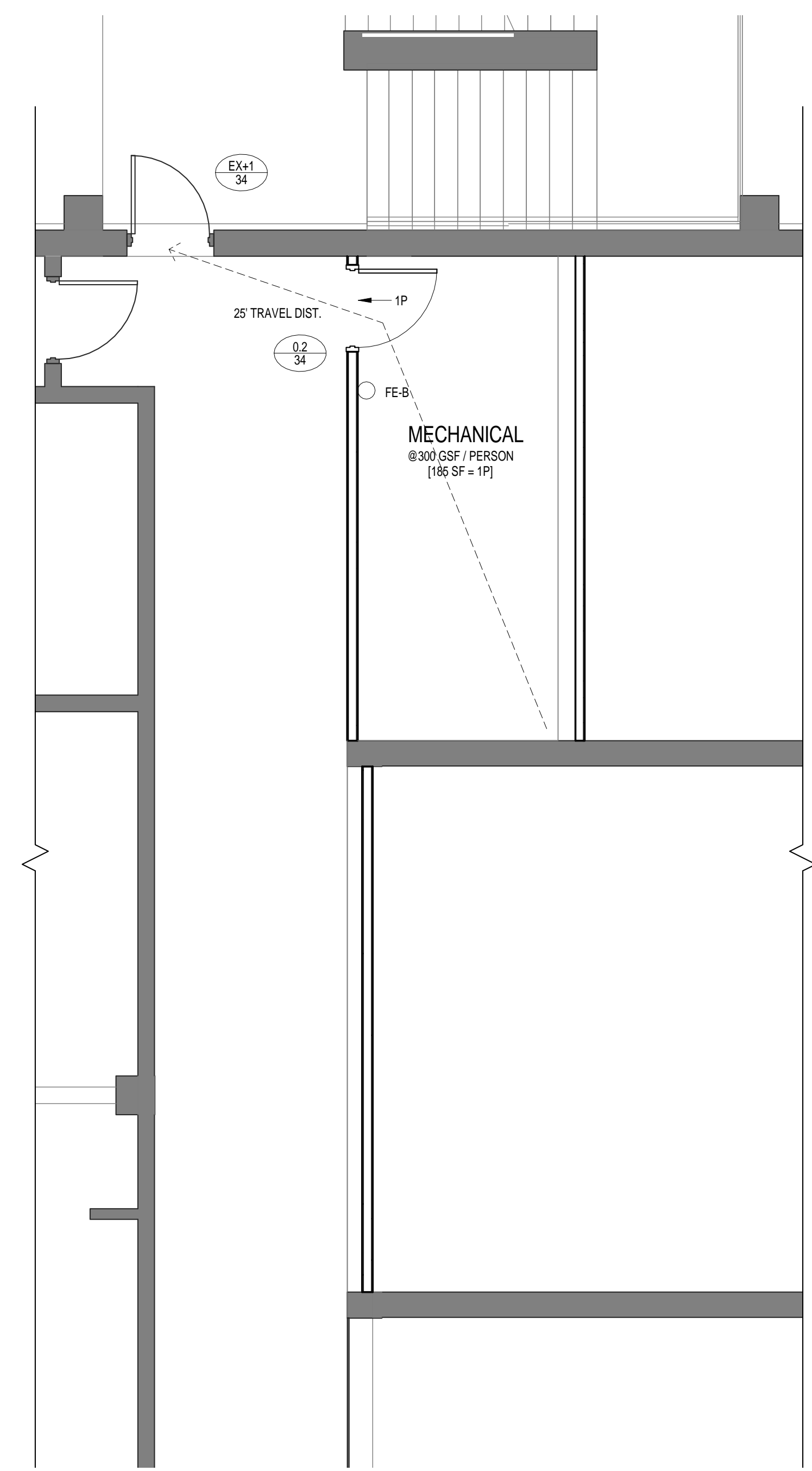
- REQUIRED EGRESS WIDTH AT DOOR, IN INCHES
EGRESS WIDTH PROVIDED AT DOOR, IN INCHES
- EGRESS WIDTH PROVIDED AT PASSAGE
REQUIRED EGRESS WIDTH AT PASSAGE
- # OF PEOPLE/DIRECTION OF TRAVEL
- NET (OR GROSS) SQ. FT./# OF PEOPLE (OCCUPANCY OF SPACE)

TRAVEL DISTANCE LEGEND

- 240'-11" TRAVEL DIST. TO EXIT FROM REMOTE CORNER
- EXISTING WALL TO REMAIN



1 FIRST FLOOR LIFE SAFETY PLAN
X1.1 1/4" = 1'-0" REFERENCED ON: A1.1



2 SECOND FLOOR LIFE SAFETY PLAN
X1.1 1/4" = 1'-0" REFERENCED ON: A1.1

PROJECT TITLE
CONVERT THE SQUASH/RBALL CT INTO BIKE SHOP
1300 Wheat Street
Columbia, SC 29208
Project No.: HZ7-Z134

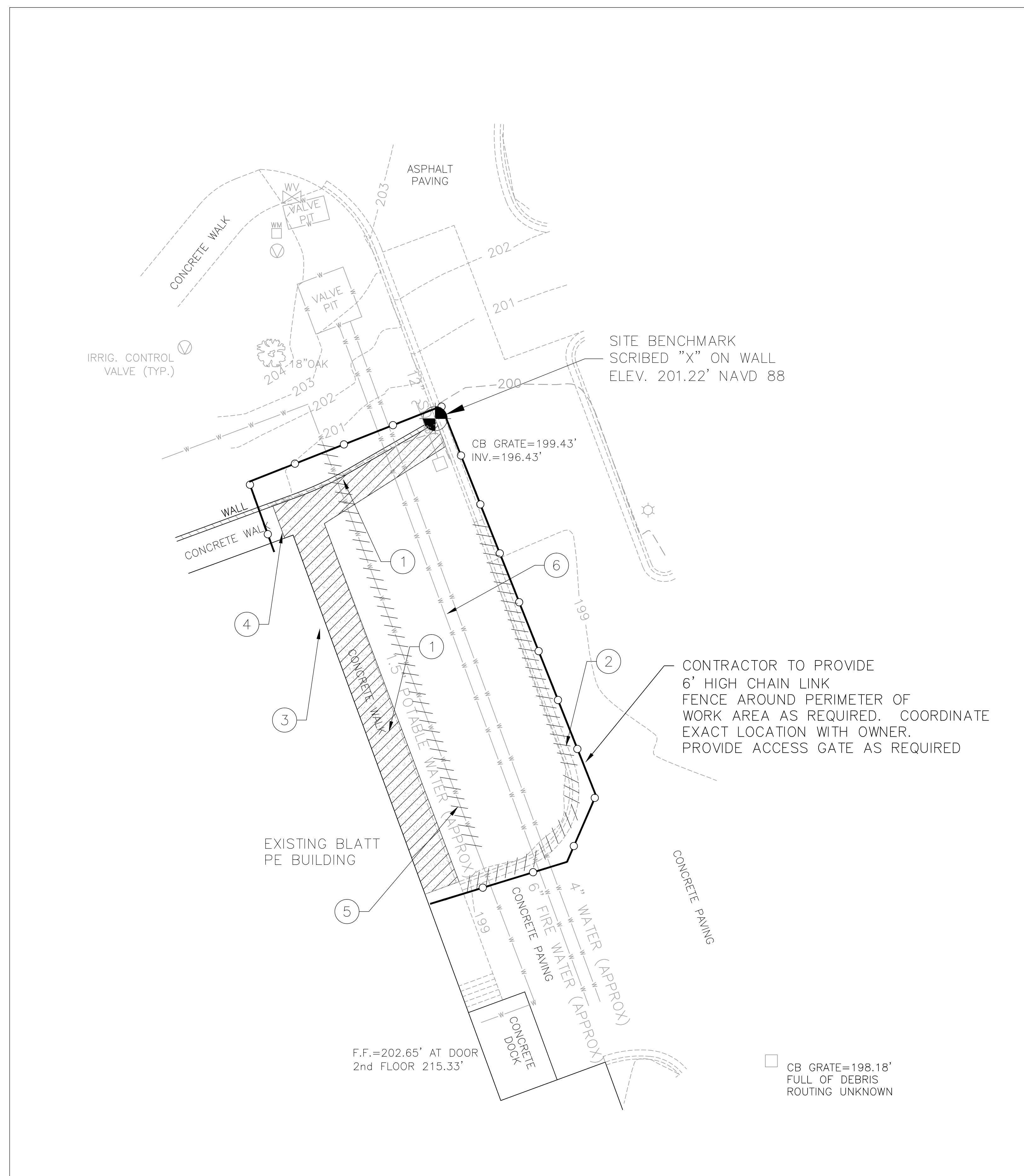
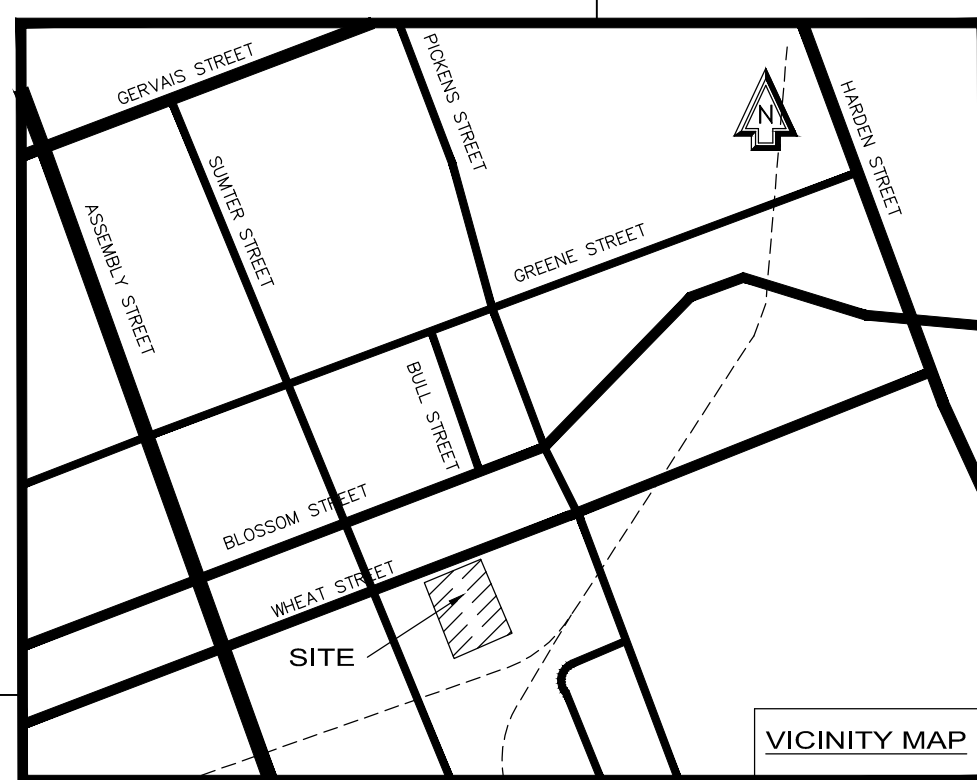
NO.	REVISIONS	DATE

DRAWN BY: / **AUTHZ:**
CHECKED BY: / **CHKDZ:**

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DRAWING TITLE
LIFE SAFETY PLANS

PROJECT NO.
L037.14
DATE
06.07.14
DRAWING NO.
X1.1

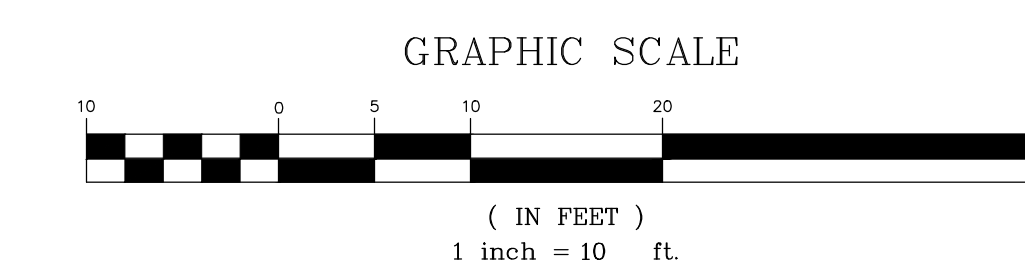


LEGEND

DEMOLITION	EXISTING	DESCRIPTION
N/A		BENCHMARK/CONTROL POINT
N/A		PROPERTY LINE/RIGHT OF WAY
N/A		BUILDING
N/A		LIGHT POLE
N/A		TREE
		BITUMINOUS SURFACE
		CONCRETE SURFACE
N/A		CONTOUR
N/A		SPOT ELEVATION
N/A		CHAIN LINK FENCE
N/A		WATER VALVE
N/A		WATER METER
N/A		UNDERGROUND ELECTRIC LINE w/LIGHT POLE
N/A		SANITARY SEWER LINE w/MANHOLE
N/A		SANITARY SEWER CLEANOUT
N/A		STORM DRAIN LINE w/STRUCTURE
①	N/A	KEY NOTE REFERENCE

KEY NOTES

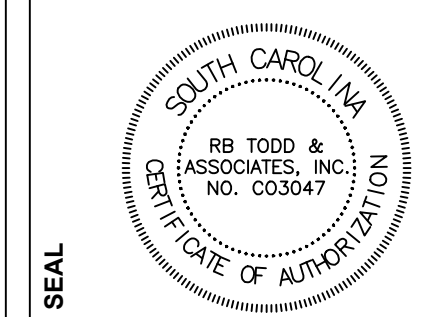
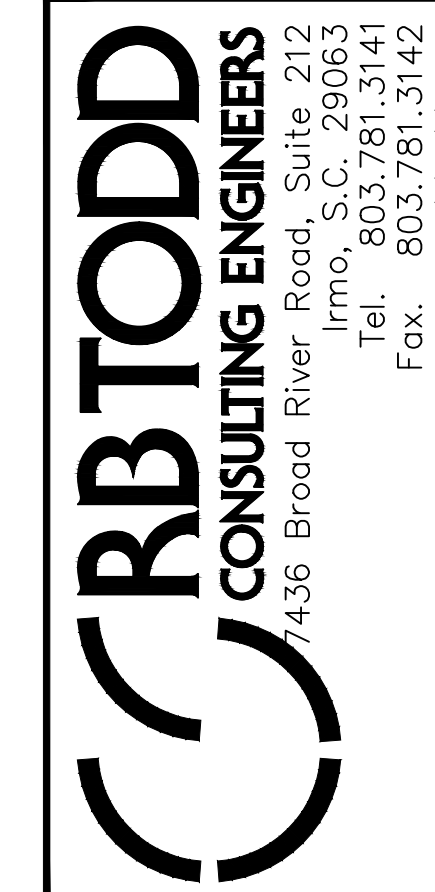
- ① REMOVE EXISTING CONCRETE WALK COMPLETE
- ② EXISTING CURB AND GUTTER TO BE REMOVED FOR CONSTRUCTION.
- ③ SEE ARCH PLANS FOR EXTERIOR BUILDING WALL DEMO INFORMATION
- ④ REMOVE SIDEWALK AT NEAREST JOINT
- ⑤ FIELD LOCATE AND RELOCATE WATER SERVICE OUTSIDE OF NEW PORCH FOOTPRINT. SEE C3.0 FOR RELOCATION ROUTING.
- ⑥ EXISTING WATER SERVICES SHOWN ARE PER EXISTING PLAN INFORMATION AND NOT BASED ON FIELD LOCATE. CONTRACTOR TO CONFIRM AND LOCATE PRIOR TO BEGINNING ANY UNDERGROUND CONSTRUCTION. COORDINATE WITH ARCHITECT/ENGINEER IF ANY CONFLICT



GENERAL NOTES

1. TOPOGRAPHIC SURVEY WAS COMPLETED BY POWER ENGINEERING COMPANY ON FEBRUARY 15, 2014. NO BOUNDARY OR TOPOGRAPHIC SURVEY WAS PERFORMED BY R.B. TODD CONSULTING ENGINEERS.
2. OWNER: USC FACILITIES
743 GREENE STREET
COLUMBIA SC 29201
PHONE NUMBER: 803-777-5811
TMS: R11303-09-01
ZONING: C-1
DEVELOPMENT ADDRESS: 1300 Wheat Street, Columbia SC 29205
DISTURBED AREA: 0.05 ACRES
3. ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 45079C0094H, DATED FEBRUARY 20, 2002, A PORTION OF THIS PROPERTY IS LOCATED IN FLOOD ZONE "AE".
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS.
5. THE CONTRACTOR SHALL NOTIFY PUPS AT 1-888-721-7877 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL UNDERGROUND UTILITIES LOCATED.

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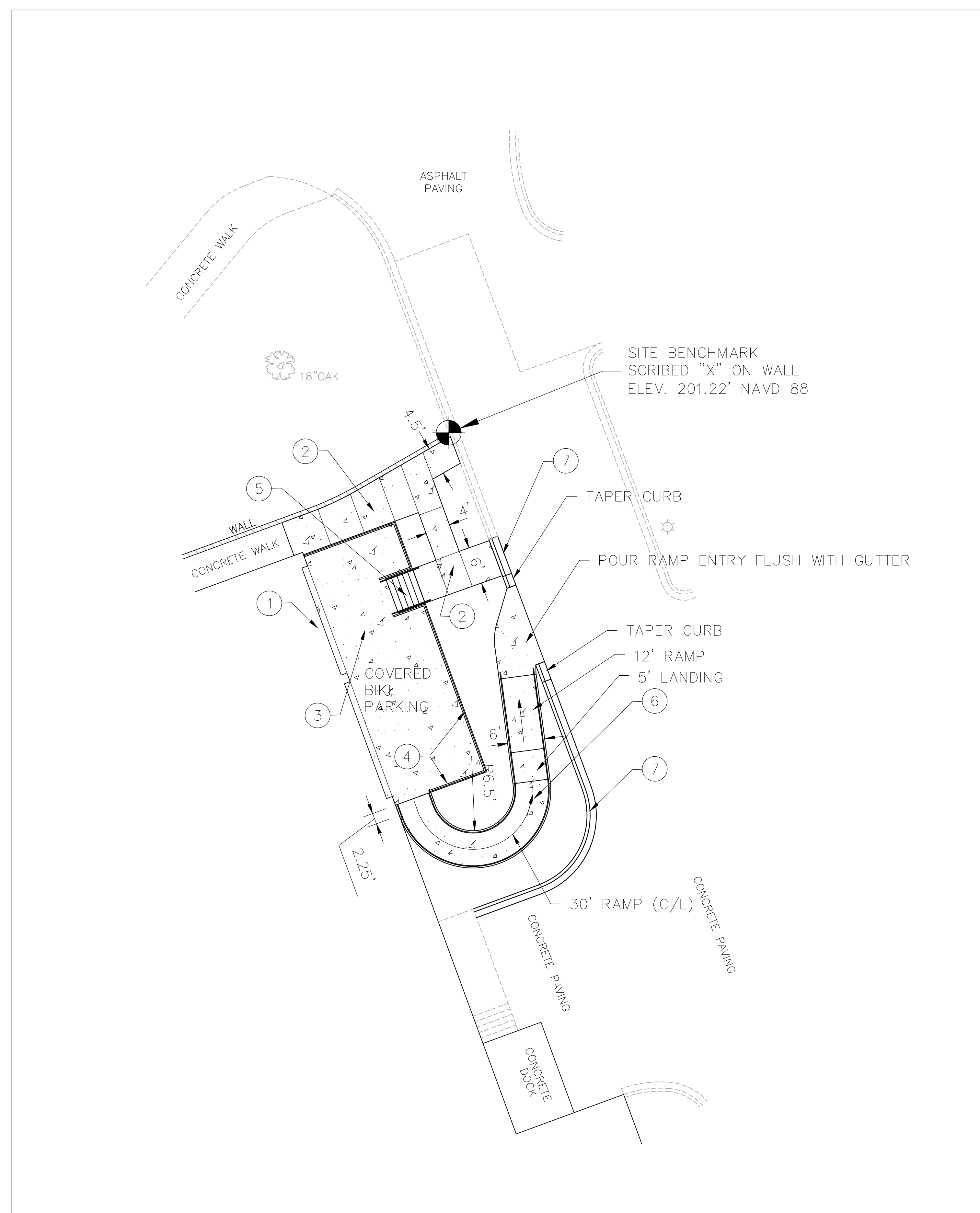
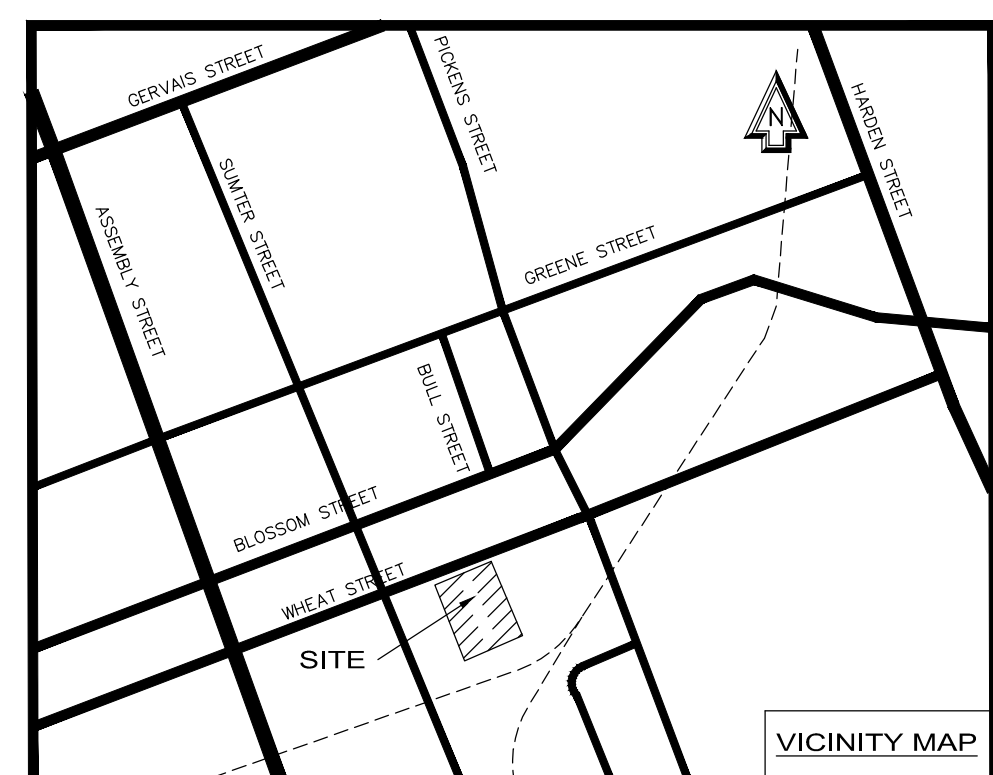
PROJECT TITLE
CONVERT THE SQUASH/BALL CT INTO BIKE SHOP
 1300 Wheat Street
 Columbia, SC 29208
 Project No.: H27-Z134

NO.	REVISIONS	NAME	DATE

DRAWN BY: C.W.C.
CHECKED BY: C.W.C.

DRAWING TITLE
EXISTING CONDITIONS - SITE DEMO PLAN

PROJECT NO.: U327.14
DATE: 05/07/14
DRAWING NO.: C1.0



GENERAL NOTES

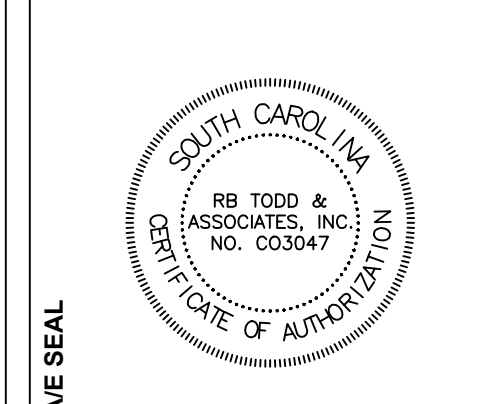
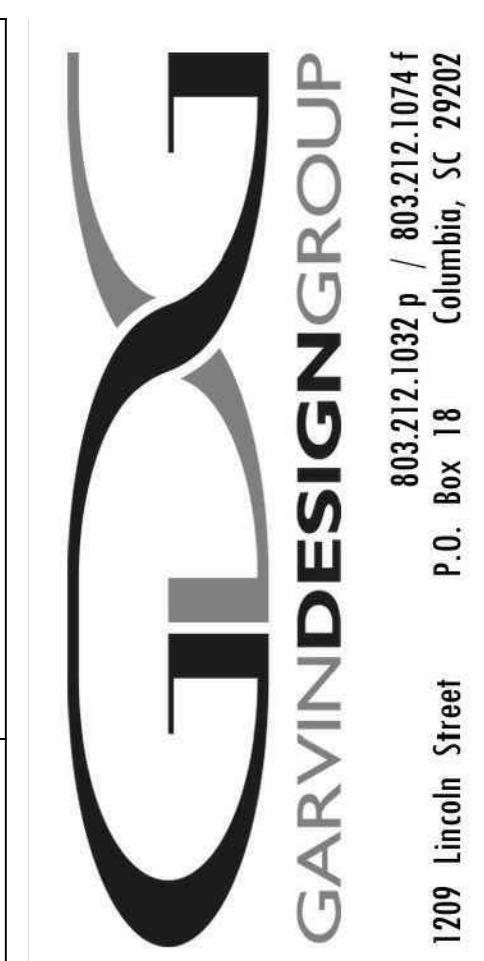
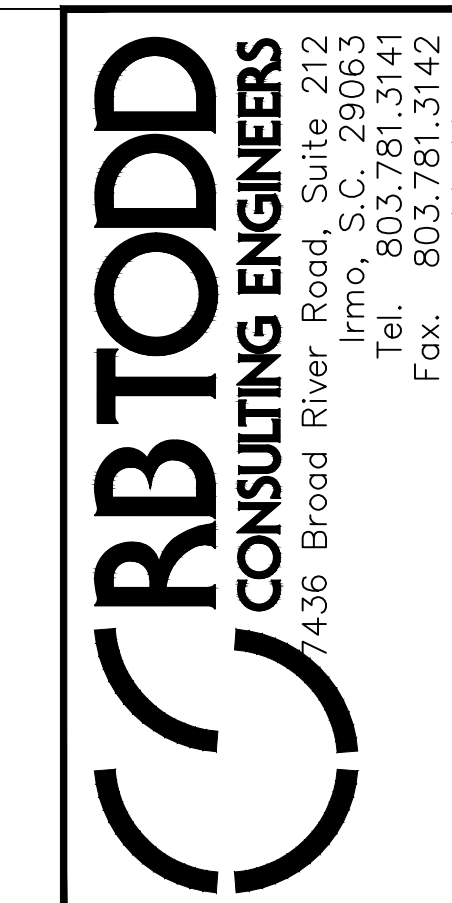
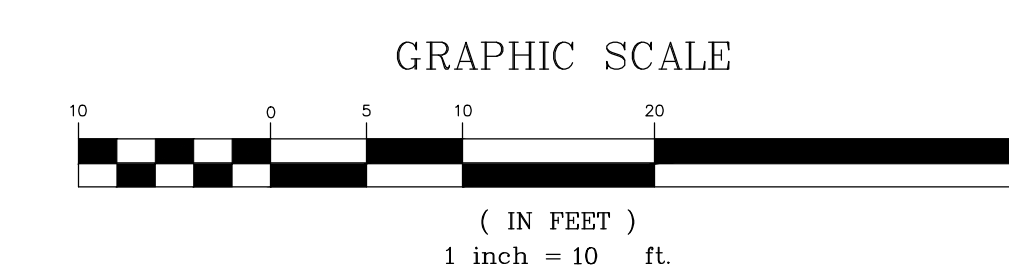
- TOPOGRAPHIC SURVEY WAS COMPLETED BY POWER ENGINEERING COMPANY ON FEBRUARY 15, 2014. NO BOUNDARY OR TOPOGRAPHIC SURVEY WAS PERFORMED BY R.B. TODD CONSULTING ENGINEERS.
- OWNER: USC FACILITIES
743 GREENE STREET
COLUMBIA SC 29201
PHONE NUMBER: 803-777-5811
TMS: R11303-09-01
ZONING: C-1
DEVELOPMENT ADDRESS: 1300 Wheat Street, Columbia SC 29205
DISTURBED AREA: 0.05 ACRES
- ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 45079C0094H, DATED FEBRUARY 20, 2002, A PORTION OF THIS PROPERTY IS LOCATED IN FLOOD ZONE "AE".
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS.
- THE CONTRACTOR SHALL NOTIFY PUPS AT 1-888-721-7877 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION TO HAVE ALL UNDERGROUND UTILITIES LOCATED.

LEGEND

NEW	EXISTING	DESCRIPTION
N/A		BENCHMARK/CONTROL POINT
		BUILDING LIGHT POLE
N/A		CURB AND GUTTER
		CONCRETE SURFACE BITUMINOUS SURFACE
	N/A	KEY NOTE REFERENCE

KEY NOTES

- NEW EXTERIOR DOOR/ENTRY - SEE ARCH PLANS
- NEW 4" THICK EXTERIOR CONCRETE
- NEW ELEVATED BIKE PARKING - SEE ARCH AND STRUCTURAL PLANS
- SEE ARCH FOR HANDRAIL DETAILS
- 6 RISERS WITH HANDRAILS AT 6" EACH - SEE ARCH/STRUCTURAL
- NEW 6' WIDE BIKE RAMP WITH HANDRAILS - SEE ARCH/STRUCTURAL
- REMOVE AND REPLACE CURB AND GUTTER



PROJECT TITLE
CONVERT THE SQUASH/BALL CT INTO BIKE SHOP
1300 Wheat Street
Columbia, SC 29208
Project No.: HZ1-Z134

NO.	REVISIONS NAME	DATE

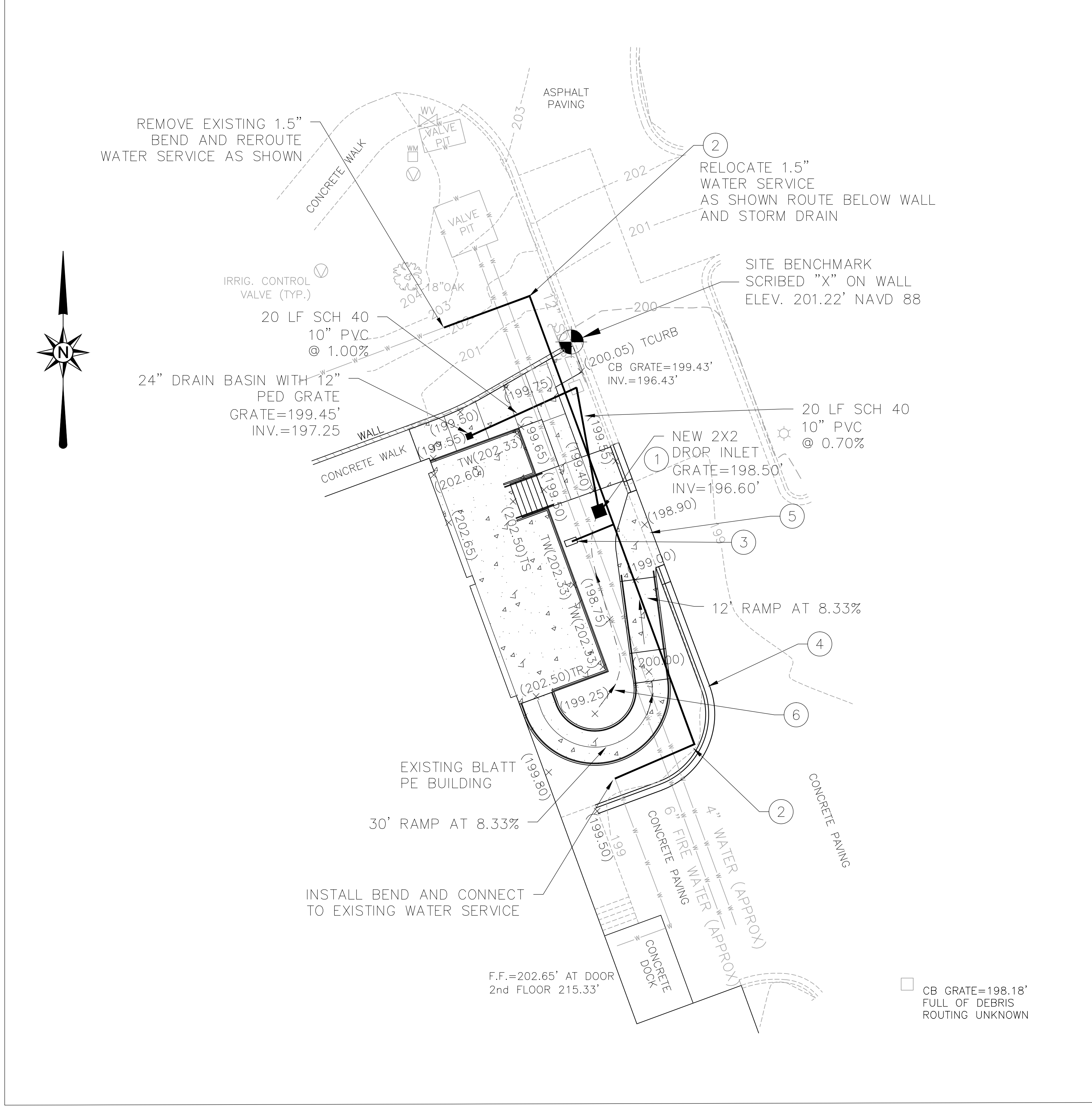
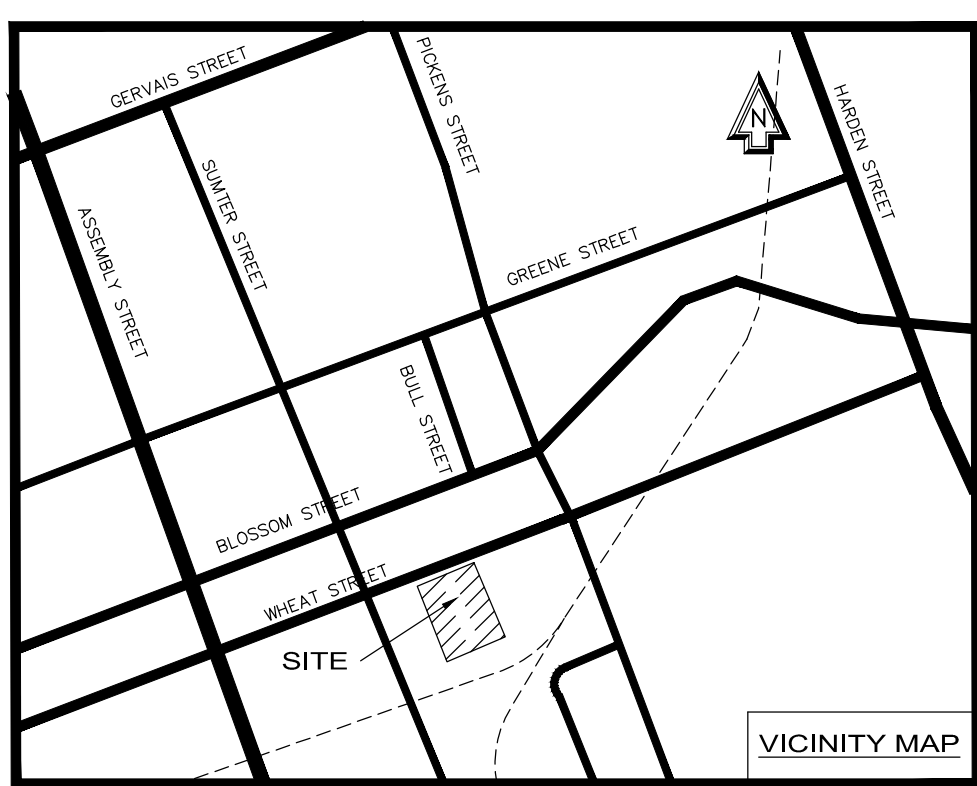
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CHECKED BY: _____ C.W.C.

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DRAWING TITLE
SITE LAYOUT PLAN

PROJECT NO. LX37.14
DATE 06.07.14
DRAWING NO. **C2.0**

1/30/2014 1:16:56 PM



KEY NOTES

- 1. LOCATION OF INLET MAY NEED TO SHIFT DEPENDING ON LOCATION OF EXISTING WATER LINES – FIELD VERIFY PRIOR TO BEGINNING CONSTRUCTION
- 2. FIELD LOCATE AND RELOCATE EXISTING 1.5" WATER SERVICE AS SHOWN AROUND NEW STRUCTURE. WATER SERVICE PIPE TO BE 1.5" SDR 21 PVC
- 3. INSTALL 1.5"x1.5" TEE, REDUCE TO 3/4" AND INSTALL BRASS HOSE BIBB IN WATER METER BOX NEAR BASE OF WALL
- 4. REINSTALL CURB AND GUTTER TO MATCH EXISTING
- 5. POUR THICKENED 6" CONCRETE GUTTER AT RAMP OPENING. RAMP OPENING TO BE FLUSH WITH ADJACENT PAVEMENT.
- 6. GRADE SWALE TO DRAIN TO NEW INLET

LEGEND

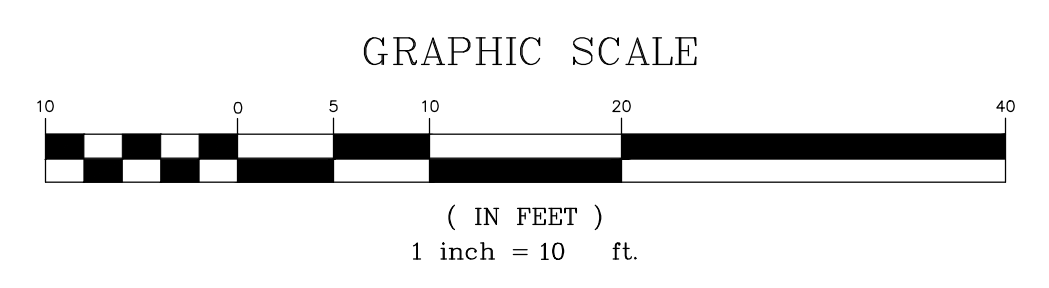
NEW	EXISTING	DESCRIPTION
N/A	●	BENCHMARK/CONTROL POINT
N/A	—	PROPERTY LINE/RIGHT OF WAY BUILDING
N/A	○	TREE
N/A	—	CONTOUR
x (829.50)	x 829.50	SPOT ELEVATION
N/A	⊠	FIRE HYDRANT
N/A	☆	LIGHT POLE
N/A	WV	WATER VALVE
N/A	⊠	WATER METER
—	—	WATER MAIN/SERVICE
N/A	—	STORM DRAIN LINE w/STRUCTURE
N/A	—	SANITARY SEWER LINE w/MANHOLE
N/A	—	SANITARY SEWER CLEANOUT
N/A	—	CHAIN LINK FENCE
①	N/A	KEY NOTE REFERENCE

I (WE) CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN.

DATE _____ PERMIT APPLICANT _____

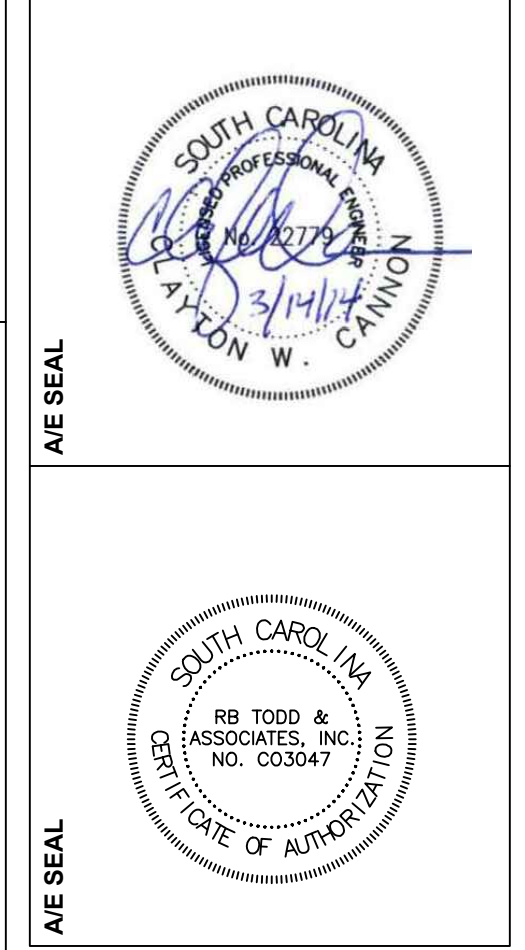
I HEREBY CERTIFY THAT THIS PLAN IS DESIGNED TO MEET STORM DRAINAGE REQUIREMENTS AND TO CONTAIN SILT ON THE PROPERTY CONCERNED TO THE MAXIMUM EXTENT FEASIBLE. PROVISIONS FOR EROSION AND SEDIMENT CONTROL AND STORM DRAINAGE ARE IN ACCORDANCE WITH THE COLUMBIA SEDIMENT AND EROSION CONTROL AND STORM DRAINAGE ORDINANCE.

DATE _____ REGISTERED ENGINEER _____



CRBTODD
CONSULTING ENGINEERS
1436 Broad River Road, Suite 212
Columbia, SC 29206
Tel: 803.781.3141
Fax: 803.781.3142
www.rbtodd.com

GARVINDESIGNGROUP
1209 Lincoln Street
Columbia, SC 29202



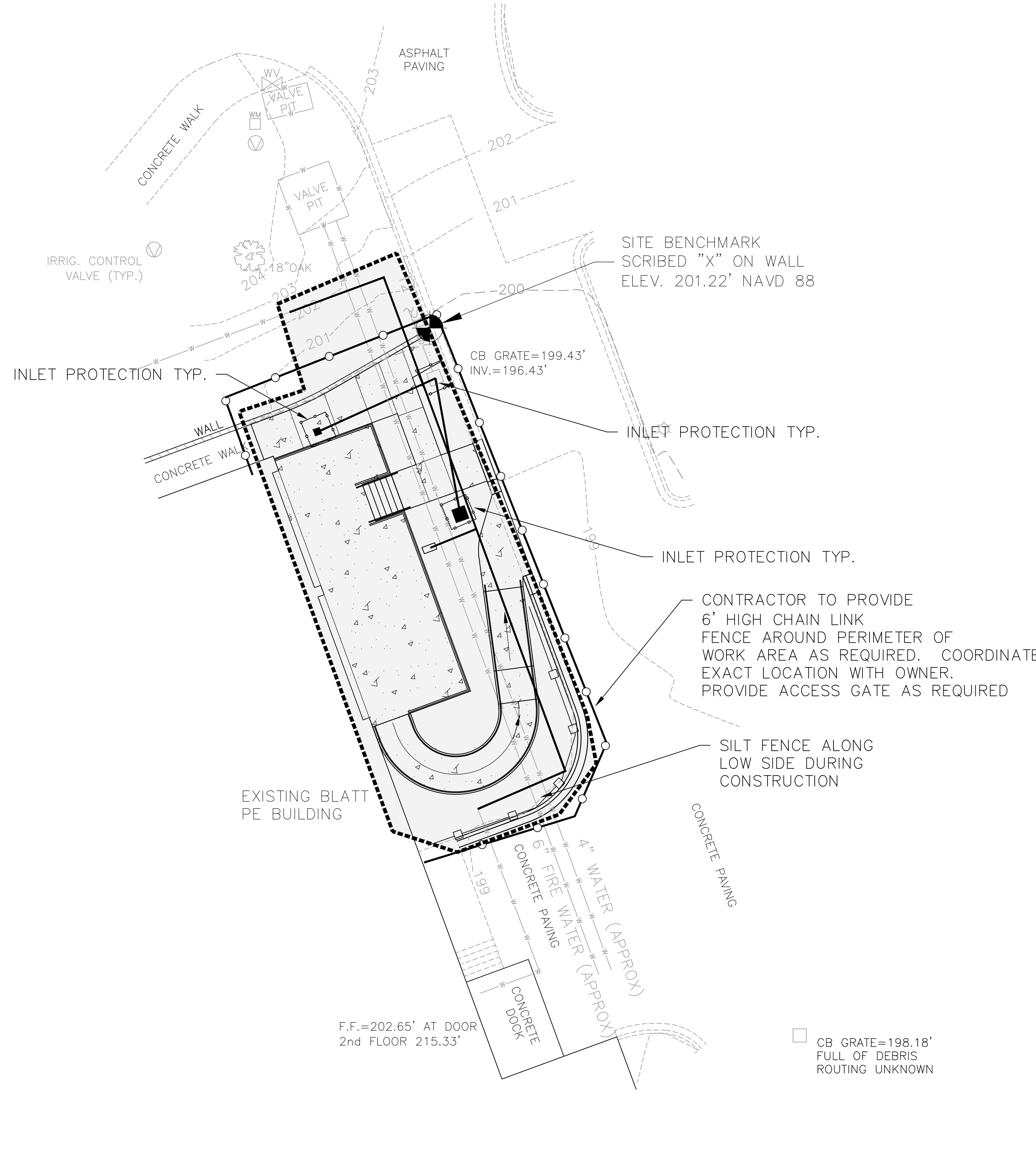
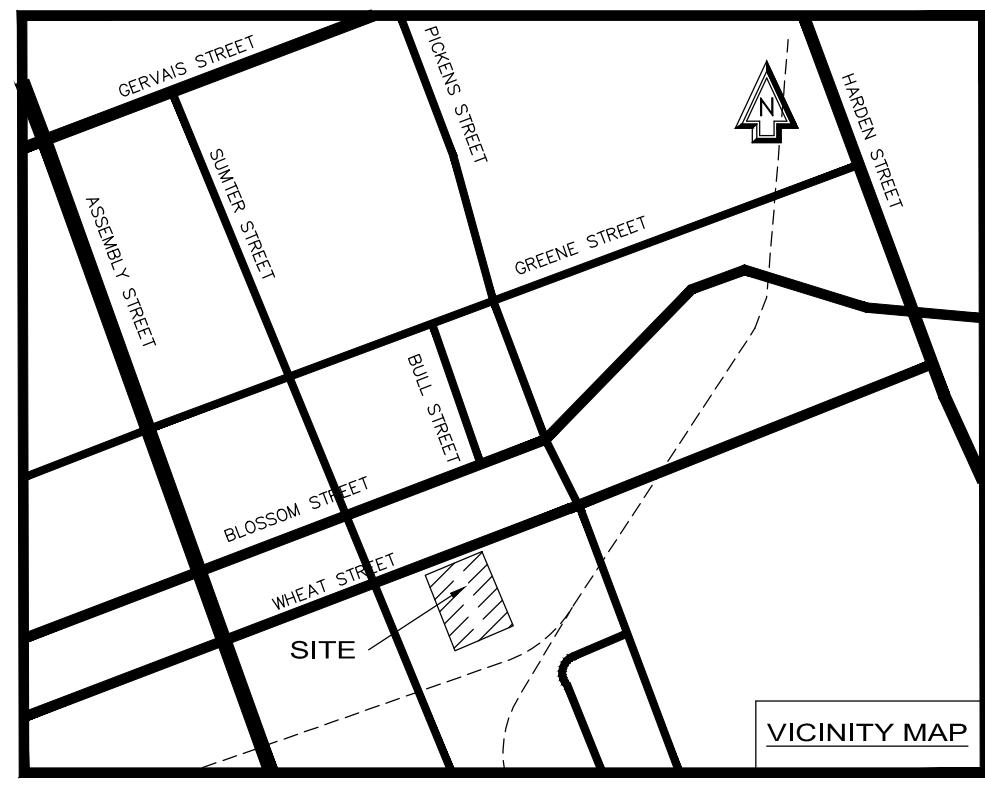
PROJECT TITLE
CONVERT THE SQUASH/BALL CT INTO BIKE SHOP
1300 Wheat Street
Columbia, SC 29208
Project No.: H27-Z134

NO.	REVISIONS	DATE

DRAWN BY: _____
CHECKED BY: _____

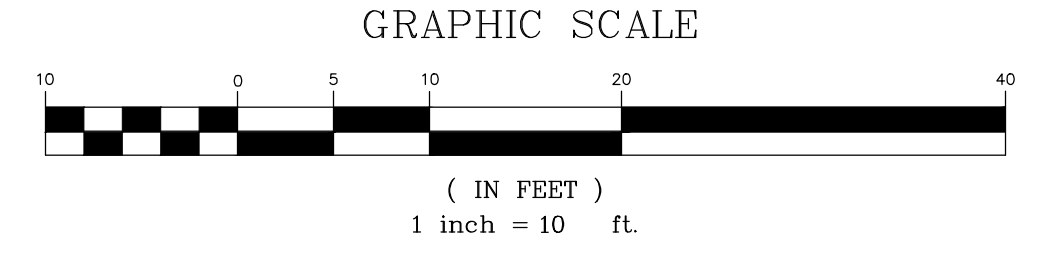
DRAWING TITLE
GRADING AND DRAINAGE PLAN

PROJECT NO. US37.14
DATE 05.07.14
DRAWING NO. **C3.0**



LEGEND

PROPOSED	DESCRIPTION
	SILT FENCE
	CONTOUR
	STORM DRAIN PIPE
	INLET PROTECTION
	LIMITS OF DISTURBANCE (SHADED)
	TEMPORARY CHAIN LINK FENCE



1/30/2014 1:16:56 PM

AIRBORNE DUST CONTROL

THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS OUTLINED IN THE SOUTH CAROLINA CHEM STORMWATER MANAGEMENT BMP HANDBOOK AS NEEDED TO CONTROL AIRBORNE DUST DURING CONSTRUCTION. COORDINATE WITH ENGINEER PRIOR TO IMPLEMENTATION OF VARIOUS MEASURES.

CONSTRUCTION SEQUENCE OF ENTIRE CONSTRUCTION AREA FOR EROSION AND SEDIMENT CONTROL

1. PRE-CONSTRUCTION MEETING (ON-SITE IF MORE THAN 10 DISTURBED AND NON-DISTURBED)
2. NOTIFY CITY OF COLUMBIA OFFICE 48 HOURS PRIOR TO BEGINNING LAND-DISTURBING ACTIVITIES.
3. INSTALLATION OF PERIMETER CONTROLS (E.G., SILT FENCE, INLET PROTECTION ON EXISTING STRUCTURES).
4. CLEARING & GRUBBING OF SITE FOR DEMOLITION (SEDIMENT & EROSION CONTROL MEASURES FOR THESE AREAS MUST ALREADY BE INSTALLED).
5. BUILDING DEMO/RENOVATION WORK
6. ROUGH GRADING
7. INSTALLATION OF STORM DRAIN SYSTEM AND PLACEMENT OF INLET PROTECTION AS EACH INLET IS INSTALLED.
8. INSTALLATION OF SITE PLANTER WALLS
9. FINE GRADING
10. EXTERIOR CONCRETE INSTALLATION
11. FINAL SITE LANDSCAPING AND CLEANUP
12. REMOVAL OF TEMPORARY SEDIMENT & EROSION CONTROL MEASURES AFTER ENTIRE AREA DRAINING TO THE STRUCTURE IS FINALLY STABILIZED (THE DEPARTMENT RECOMMENDS THAT THE PROJECT OWNER/OPERATOR HAVE THE SWPPP PREPARER OR REGISTRATION EQUIVALENT APPROVE THE REMOVAL OF TEMPORARY STRUCTURES).

EROSION AND SEDIMENT CONTROL MEASURES

GENERAL

THE CONTRACTOR IS ADVISED THAT ALL GRADING AND DRAINAGE WORK ON THE PROJECT IS PERMITTED UNDER THE REQUIREMENTS OF THE SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL, DIVISION OF STORMWATER MANAGEMENT. COMPLIANCE WITH THE PERMITTED CONDITIONS IS MANDATORY. THE CONTRACTOR SHALL RELY ON EXPERIENCE AND CONTROL OF THE WORK TO PROVIDE ADEQUATE AND ORDERLY CONSTRUCTION METHODS TO CONTROL STORMWATER RUNOFF AND PREVENT THE EXCESSIVE MIGRATION OF SEDIMENTS FROM THE SITE. THE CONTRACTOR SHALL DIRECT INSTALLATION OF NECESSARY TEMPORARY CONSTRUCTION MEASURES TO CONTROL STORMWATER RUNOFF. ALL STORMWATER MANAGEMENT MEASURES SHALL BE INSPECTED AFTER EACH RAIN EVENT AND ANY REQUIRED MAINTENANCE SHALL BE PERFORMED.

SILT FENCES

SILT FENCES OR EQUIVALENT SEDIMENT CONTROL SHALL BE INSTALLED WHERE INDICATED AND MAINTAINED IN ACCORDANCE WITH THIS PLAN.

STORM DRAINAGE STRUCTURES

TEMPORARY BARRIERS OF EITHER SILT FENCING OR ROCK RIPRAP SHALL BE INSTALLED AND MAINTAINED AROUND STORM DRAINAGE STRUCTURES UNTIL THEIR DRAINAGE AREA IS STABILIZED. STORM DRAINAGE PIPES, INCLUDING OUTLET PROTECTION, SHALL BE INSTALLED AS SOON AS EARTH GRADING IS ADEQUATE TO ACCEPT PIPE INSTALLATION. INLET STRUCTURES SHALL BE CONSTRUCTED AS THE EARTH FILL IS PLACED AND CONSTRUCTION SHALL AT ALL TIMES PROVIDE SURFACE DRAINAGE TO THEM. TEMPORARY BARRIERS SHALL BE INSTALLED AND MAINTAINED AT EACH INLET AS THE EARTH FILL RISES.

STABILIZATION OF DISTURBED AREAS

DISTURBED AREAS SHALL RECEIVE STABILIZING MEASURES WITHIN 14 DAYS AFTER DISTURBANCES, UNLESS CONSTRUCTION WILL RESUME IN THAT AREA WITHIN 21 DAYS FROM WHEN ACTIVITIES CEASED.

INSPECTION AND MAINTENANCE

SEDIMENT CONTROL SYSTEMS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER ANY RAINFALL EVENT EXCEEDING 0.5 INCH. ANY NEEDED CORRECTIONS OR MAINTENANCE SHALL BE ACCOMPLISHED IMMEDIATELY THEREAFTER.

REMOVAL OF SEDIMENT CONTROL SYSTEMS

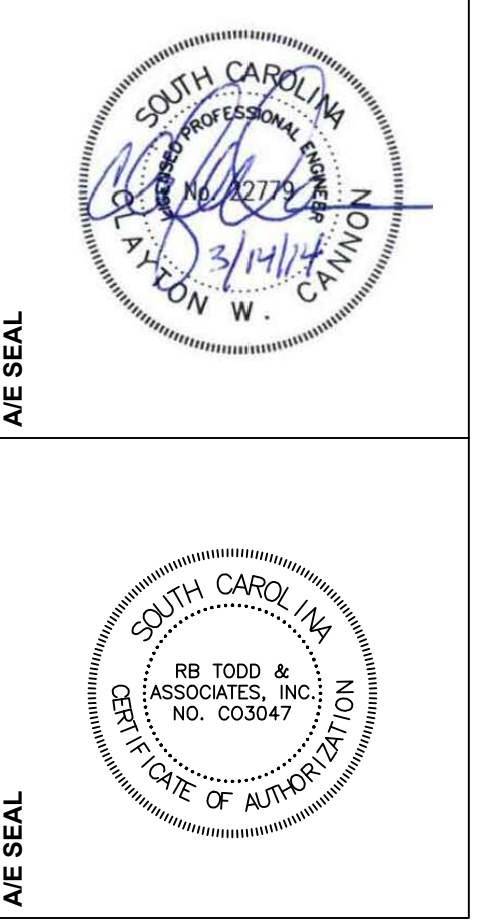
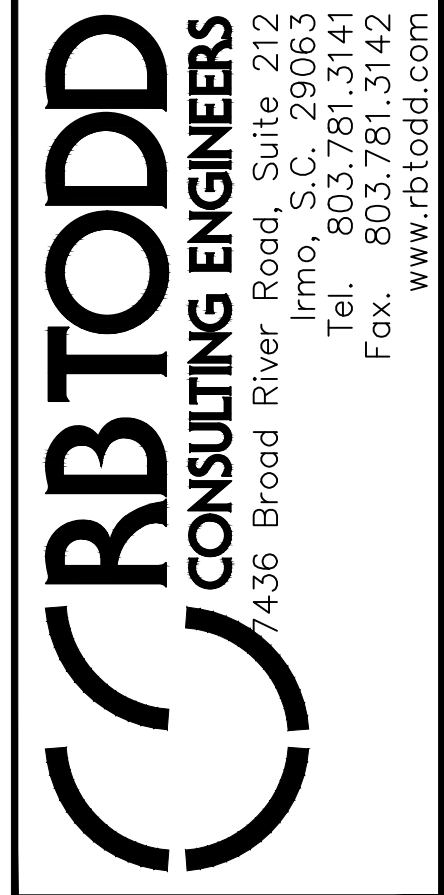
TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AFTER EACH AFFECTED AREA HAS BEEN "FINALLY STABILIZED".

TEMPORARY DIVERSIONS

TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR DIVERT SEDIMENT LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO PREVENT FLOW OF STORMWATER OVER DISTURBED AREA. TEMPORARY DIVERSIONS SHALL HAVE ADEQUATE CAPACITY AND TERMINATE INTO DENSE VEGETATION, ROCK RIPRAP, STORM STRUCTURES OR SIMILAR MEASURES TO REDUCE EROSION AT THE OUTLET. TEMPORARY DIVERSION CHANNELS SHALL BE CONSTRUCTED AND MAINTAINED AT A MINIMUM OF 1 PERCENT GRADE AND A MAXIMUM GRADE OF 2 PERCENT. THE CAPACITY OF TEMPORARY DIVERSIONS SHALL BE RESTORED ANYTIME THE EXCAVATED CHANNEL BECOMES FULL OF SEDIMENT AT ANY POINT IN THE LENGTH OF THE DIVERSION. THE RIDGE AND CHANNEL OF THE TEMPORARY DIVERSIONS SHALL BE STABILIZED WITH TEMPORARY VEGETATION IMMEDIATELY AFTER CONSTRUCTION AND RE-STABILIZED AFTER EACH DISTURBANCE.

SEDIMENT AND EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN THROUGHOUT THE LENGTH OF CONSTRUCTION SILT FENCES AT ALL STORM DRAINAGE STRUCTURES AND ALONG THE PERIMETER OF CONSTRUCTION AS NECESSARY TO CONTAIN ALL SEDIMENT RUNOFF WITHIN THE AREAS DISTURBED BY CONSTRUCTION.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED EXCEPT AS STATED BELOW.
 - a. WHERE STABILIZATION BY THE 14th DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - b. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY CALENDAR WEEK, IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
4. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH ONE-THIRD THE HEIGHT OF THE SEDIMENT FENCE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING ALL SLOPES FROM FINISH GRADE TO NATURAL GRADE AND FOR PREVENTING EXCESSIVE EROSION FROM OCCURRING IMMEDIATELY AFTER ESTABLISHING THE INTERMEDIATE ROUGH GRADE SLOPES AND AFTER REACHING THE FINAL GRADE SLOPES, THE CONTRACTOR SHALL PROVIDE GRASSING OF THESE SLOPES. WHEN SLOPES ARE DISTURBED BY SUBSEQUENT EXCAVATIONS FOR OTHER ITEMS, THE CONTRACTOR SHALL INSPECT THE REPAIRS AND CORRECT ANY DEFICIENCIES IN THE REPAIRS.
6. ALL GRADING WORK SHALL CONFORM SUBSTANTIALLY WITH THE GRADING PLANS, WHERE SPOT GRADES ARE INDICATED ON THE PLANS, THEY SHALL BE ESTABLISHED BY SCALING AND SHALL TAKE PRECEDENCE OVER CONTOURS. ALL GRADING BETWEEN SPOT GRADES SHALL BE SMOOTH AND UNIFORM.
7. THE CONTRACTOR SHALL ADEQUATELY COORDINATE THE INSTALLATION OF THE STORM DRAINAGE SYSTEM TO ENSURE THAT POSITIVE RUNOFF OF STORMWATER IS EFFECTED BOTH DURING CONSTRUCTION AND AFTER COMPLETION OF THE WORK.
8. IF NECESSARY, SLOPES WHICH EXCEED 8 VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING, IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
9. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
10. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE TRACKING OF MUD ONTO PAVED ROADWAY FROM CONSTRUCTION AREAS AND GENERATION OF DUST.
11. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
12. TEMPORARY DIVERSION BERMS AND/OR DITCHES SHALL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
13. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANNOT BE MAINTAINED BETWEEN THE DISTURBED AREAS AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
14. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER), AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORMWATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORMWATER DISCHARGES.
15. A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
16. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE
17. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
18. MINIMIZE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
19. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).
20. THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
 - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCK PAINT, PAINT RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
 - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
21. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
22. IF EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SET WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
23. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.
24. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCRT100000.



PROJECT TITLE
SQUASH/BALL CT INTO BIKE SHOP

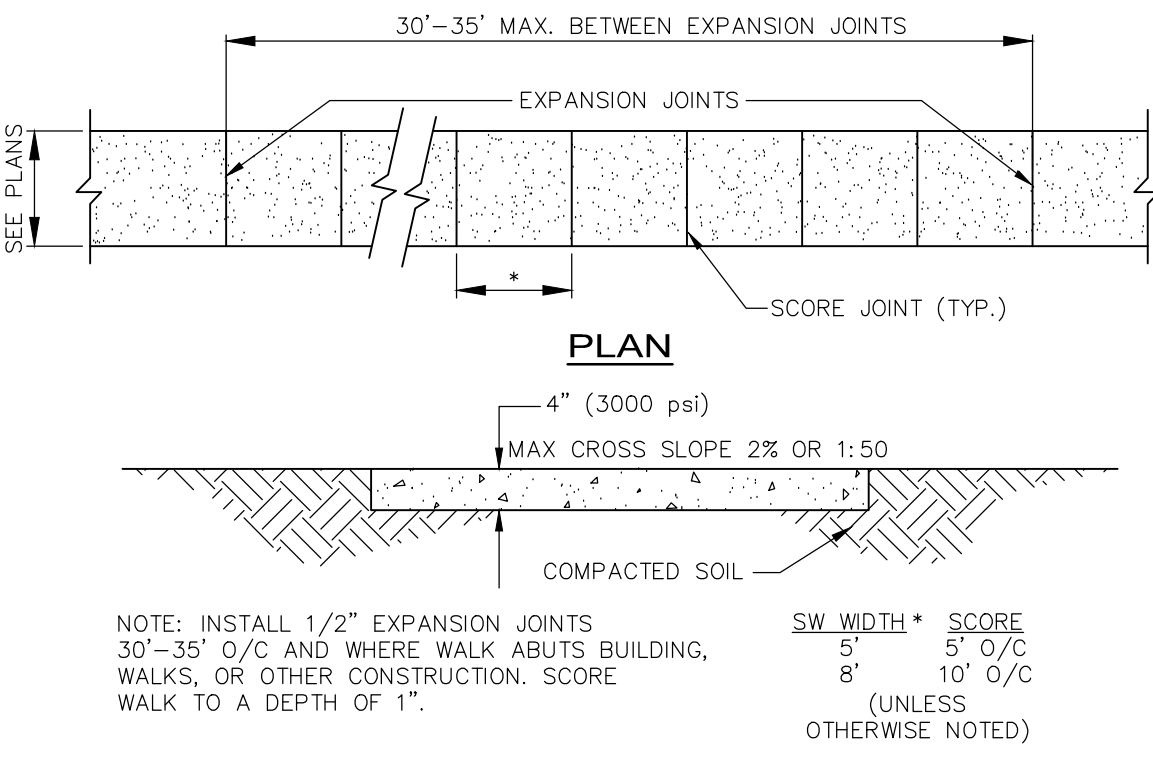
1300 Wheat Street
Columbia, SC 29208
Project No.: 1427-Z134

NO.	REVISIONS	DATE

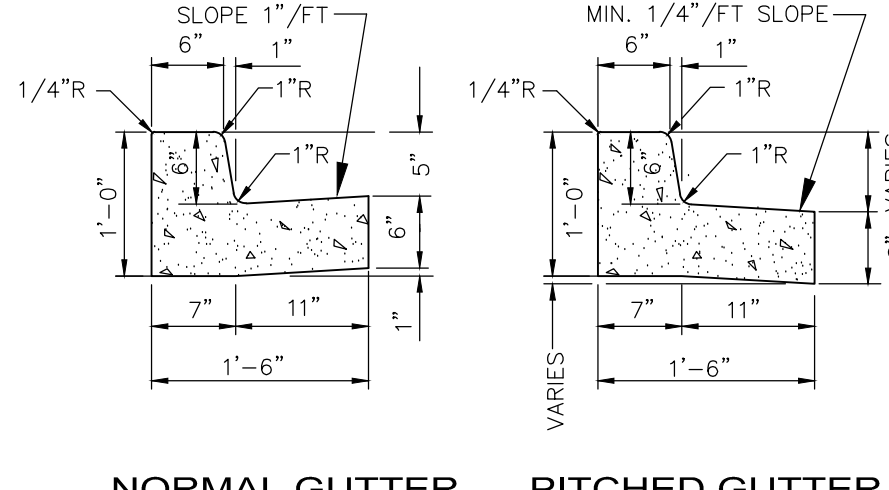
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CHECKED BY: _____

SEDIMENT AND EROSION CONTROL PLAN

PROJECT NO.: US97-14
DATE: 05.07.14
DRAWING NO.: **C4.0**

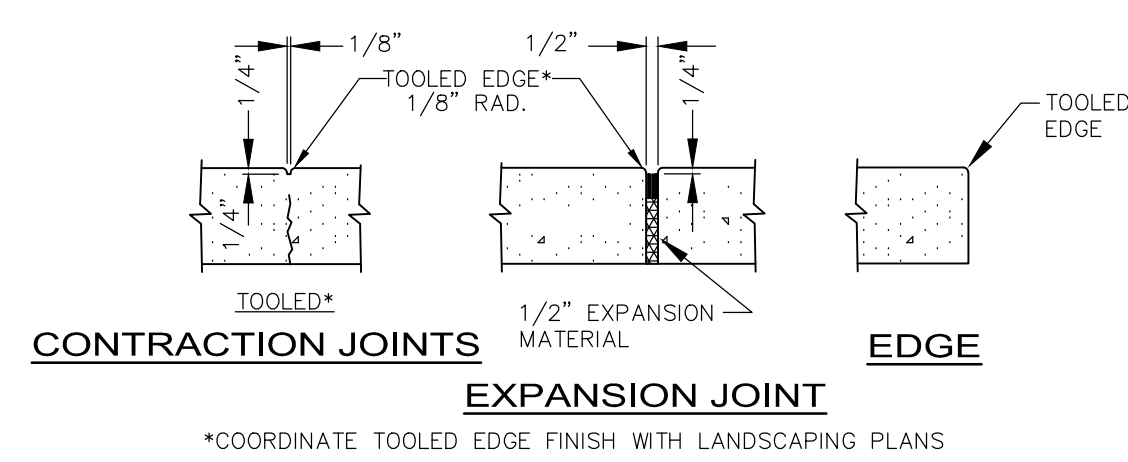


1 **CONCRETE SIDEWALK**
SCALE: 1" = 1'-0"

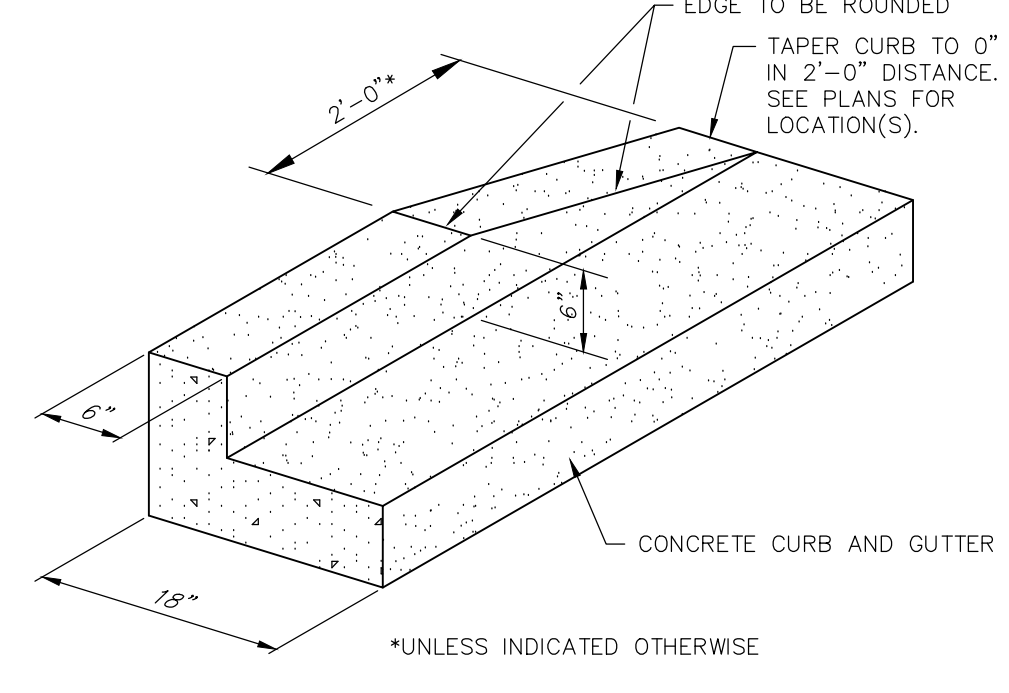


NOTES:
1. CURB AND GUTTER TO BE CONSTRUCTED IN 10-FOOT LENGTHS.
2. PROVIDE 1/2 INCH EXPANSION JOINT MATERIAL AT INTERVALS NOT TO EXCEED 100 FEET, AT THE ENDS AND MID-POINT OF RETURNS, AND AT ANY LOCATION WHERE THE NEW CURB AND GUTTER ABUTS OTHER CONCRETE STRUCTURES.
3. PROVIDE A 5' LONG TRANSITION BETWEEN NORMAL GUTTER AND PITCHED GUTTER UNLESS OTHERWISE INDICATED ON PLANS.

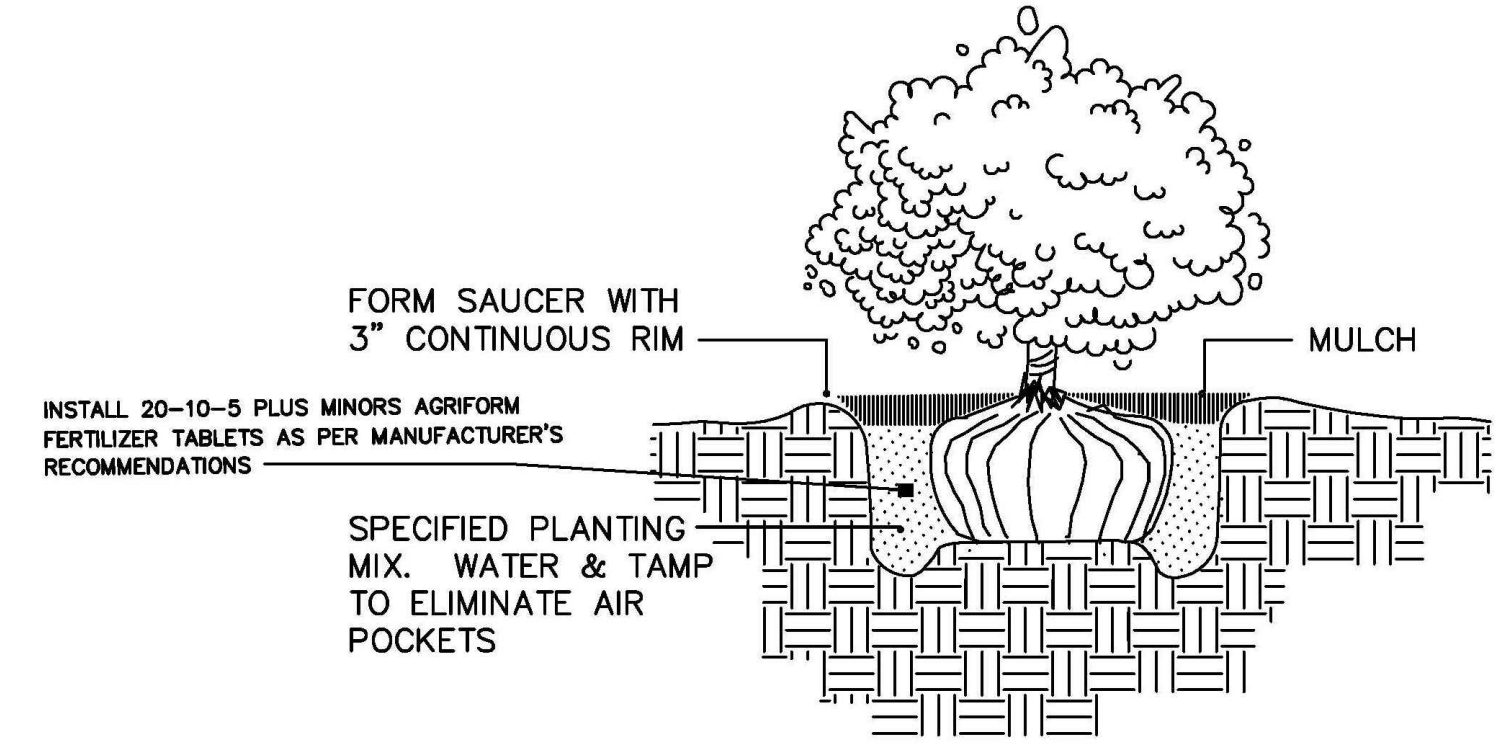
2 **CONCRETE CURB & GUTTER**
SCALE: 3/4" = 1'-0"



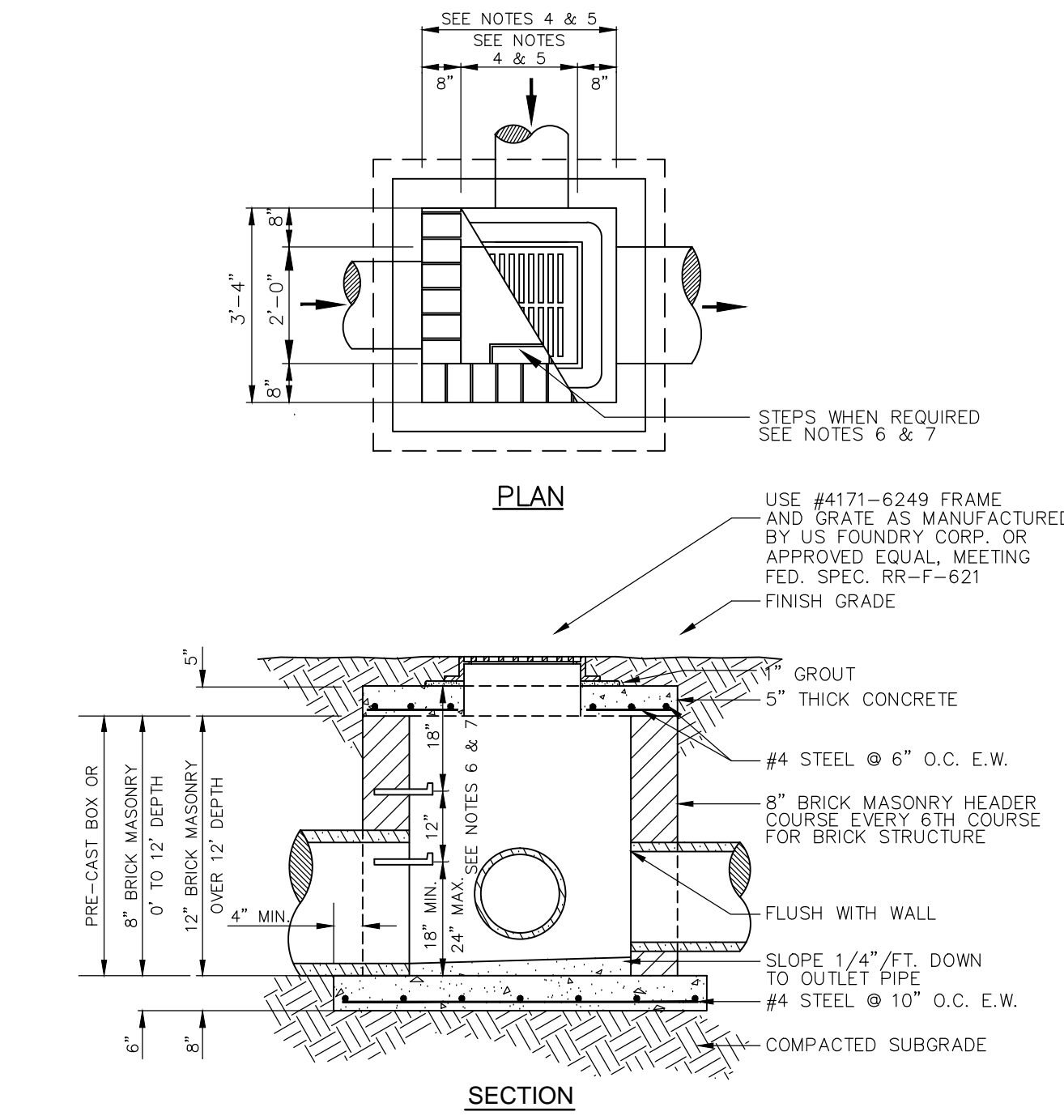
3 **CONCRETE SIDEWALK JOINTS**
NOT TO SCALE



4 **TAPERED CURB**
NOT TO SCALE

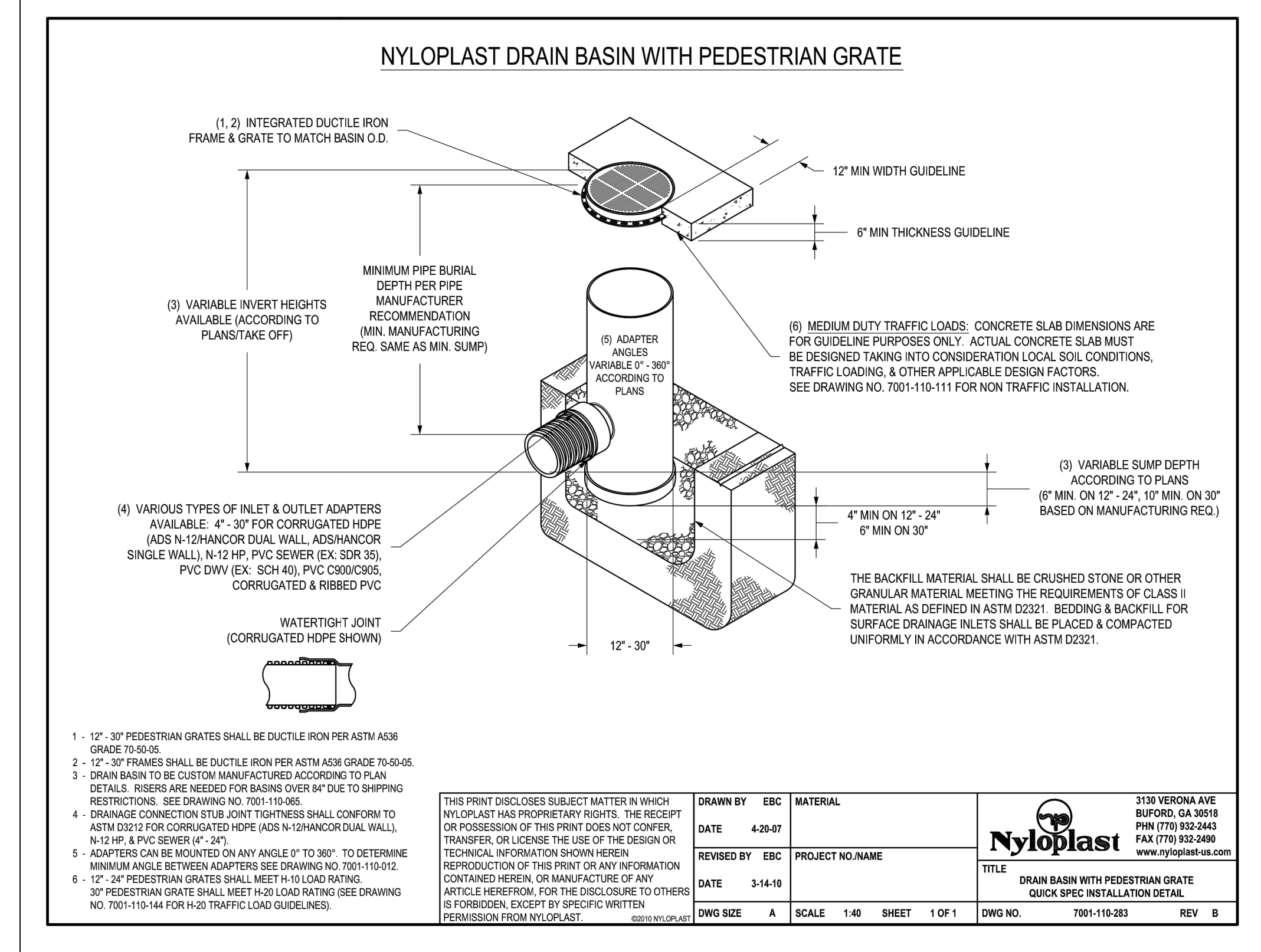


SHRUB PLANTING
SCALE: NOT TO SCALE



NOTES:
1. ALL CONCRETE SHALL BE 3,000 PSI.
2. ENDS OF ALL PIPES SHALL BE FLUSH WITH INSIDE WALL.
3. ALL STEEL BARS SHALL BE PLACED 1-1/2" CLEAR FROM BOTTOM AND SIDES OF SLAB.
4. FOR 15" - 24" I.D. PIPES USE 3'-0" x 3'-0" BOX.
5. FOR PIPES OVER 24" I.D. BOX INSIDE DIMENSIONS SHALL BE PIPE O.D. + 6" EACH SIDE OF PIPE.
6. STEPS CONFORMING TO ASTM C478 SHALL BE REQUIRED WHEN STRUCTURE DEPTH IS GREATER THAN 4'.
7. ALL STEPS SHALL BE PLACED 12" O/C AND PROTRUDE 4" FROM INSIDE FACE OF STRUCTURE WALL.
8. BRICK CONCRETE BRICK WALLS SHALL HAVE A 1/4" MORTAR COAT ON INSIDE SURFACE.
9. WALL THICKNESS IS TO BE 12" BOX DEPTH EXCEEDS 12".
10. ALL MATERIALS AND CONSTRUCTION ARE TO COMPLY WITH SECTION 720 OF THE SCDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
11. REINFORCED CONCRETE MAY BE SUBSTITUTED FOR BRICK WALLS, REINFORCING TO BE #4 BARS @ 12" E.W.

5 **2'x2' DROP INLET**
NOT TO SCALE



6 **24" DRAIN BASIN WITH 12" PED. GRATE**
NOT TO SCALE

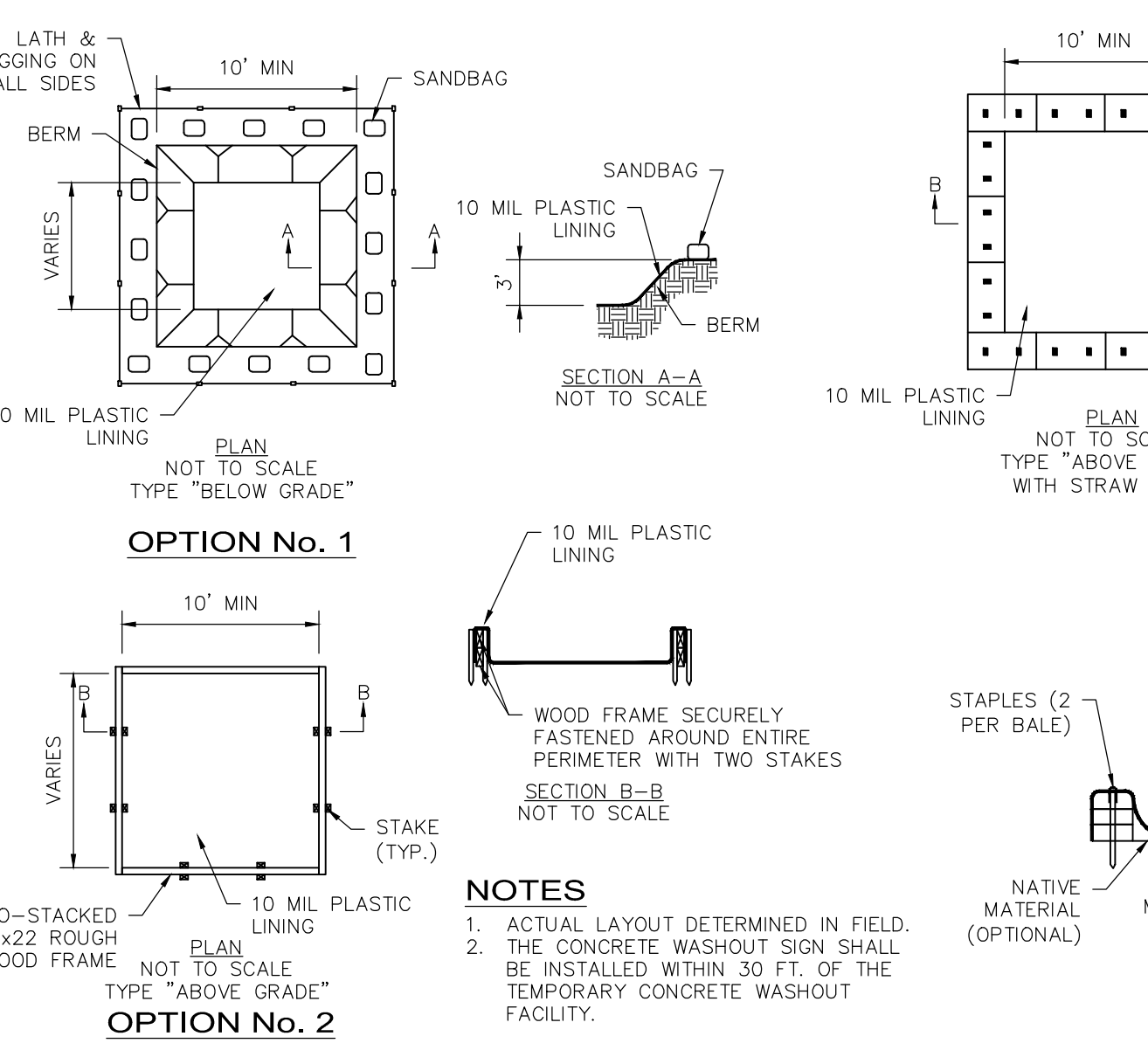
Inspection and Maintenance of Construction Entrance

All sediment and erosion control devices shall be inspected at least once every fourteen (14) calendar days and within 24 hours of the end of a storm event of 0.5 inches or greater, or after heavy use. Check for mud and sediment buildup and pad integrity. Make daily inspections during periods of wet weather. Maintenance is required more frequently in wet weather conditions. Realign the stone pad as needed for drainage and runoff control.

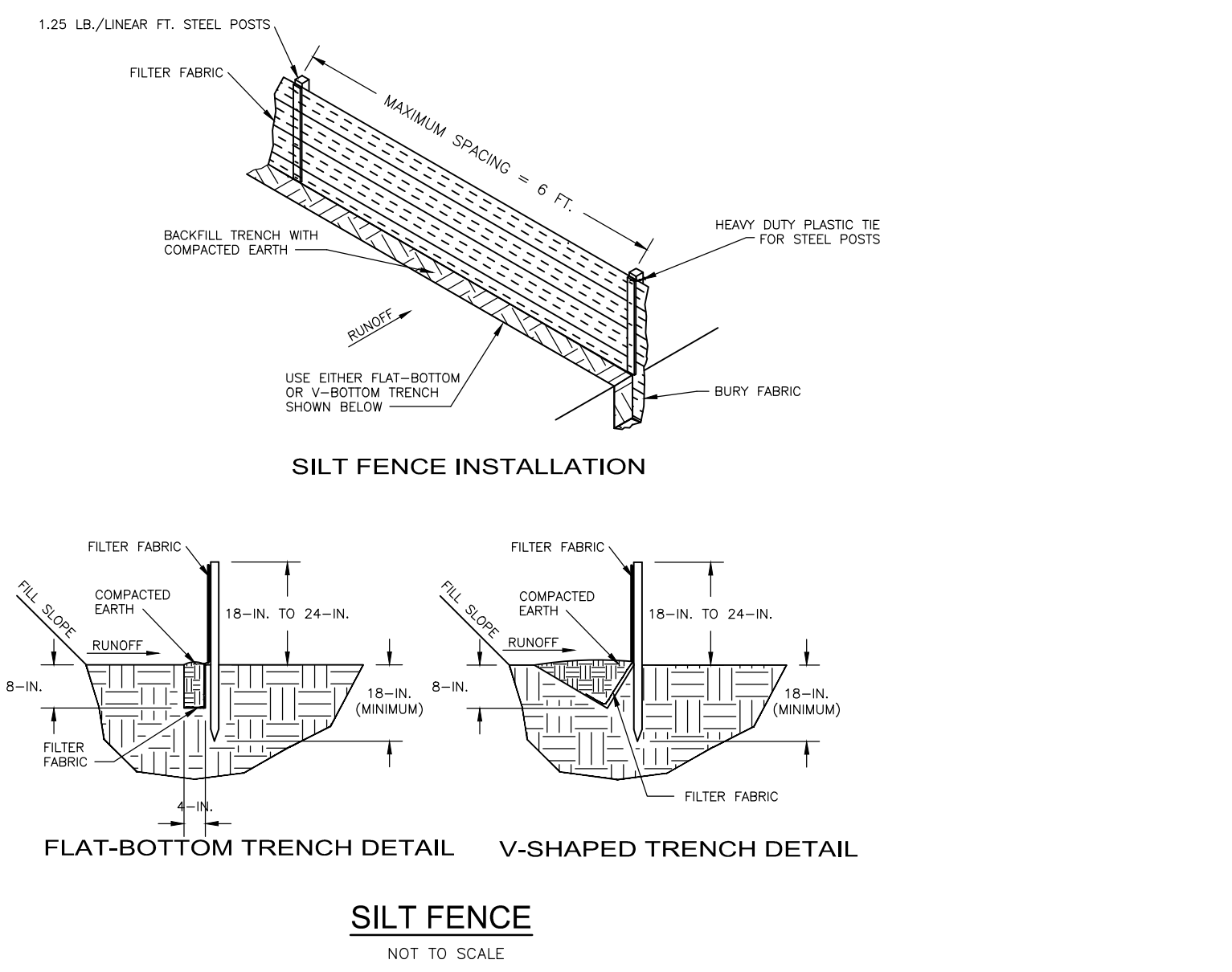
Wash or replace stones as needed and as directed by the inspector. The stone in the entrance should be washed or replaced whenever the entrance fails to reduce mud being carried off-site by vehicles. Frequent washing will extend the useful life of stone.

Immediately remove mud and sediment tracked or washed on public roads by brushing or sweeping. Flushing should only be used when the water can be directed to a sediment trap or basin.

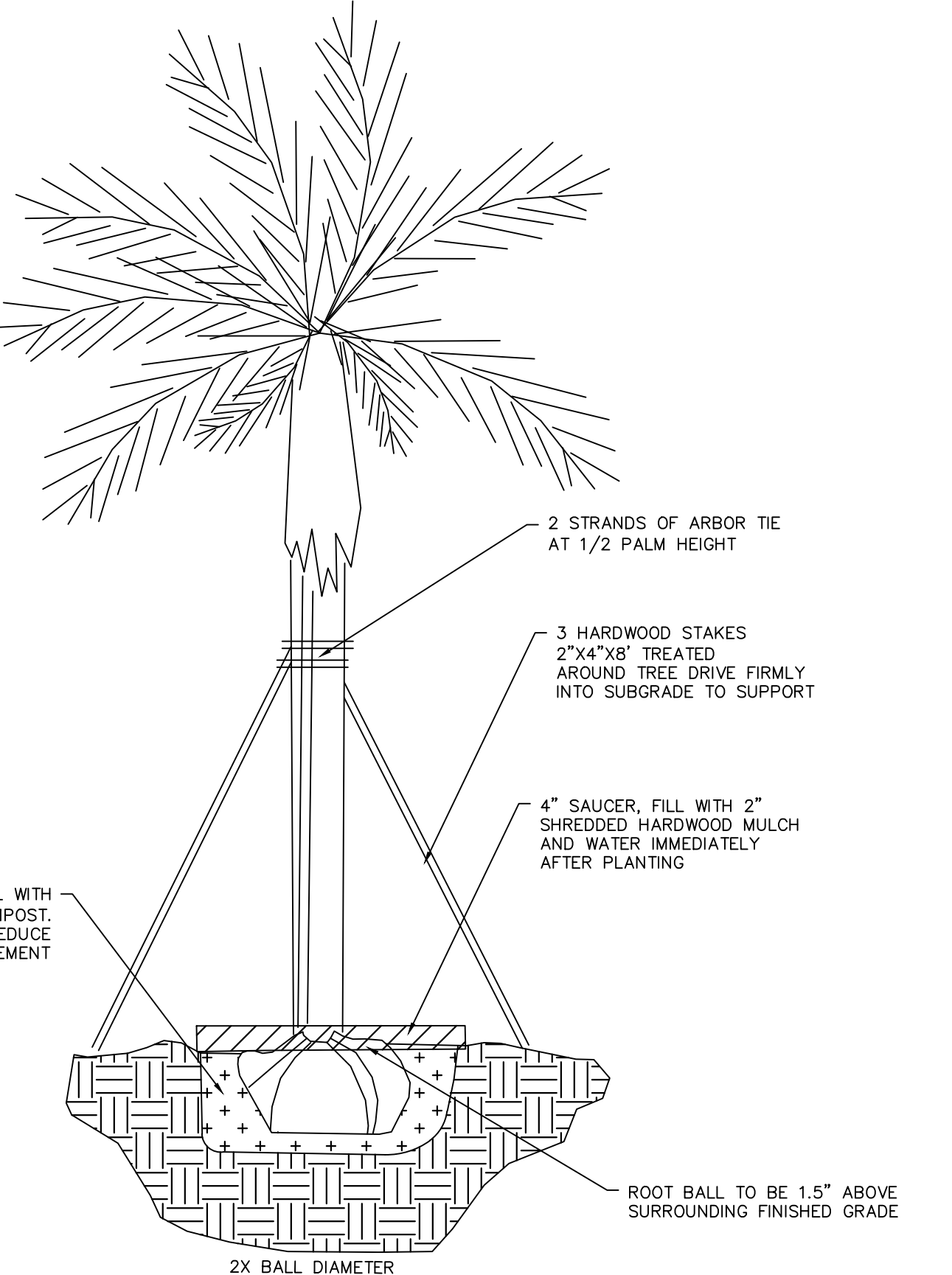
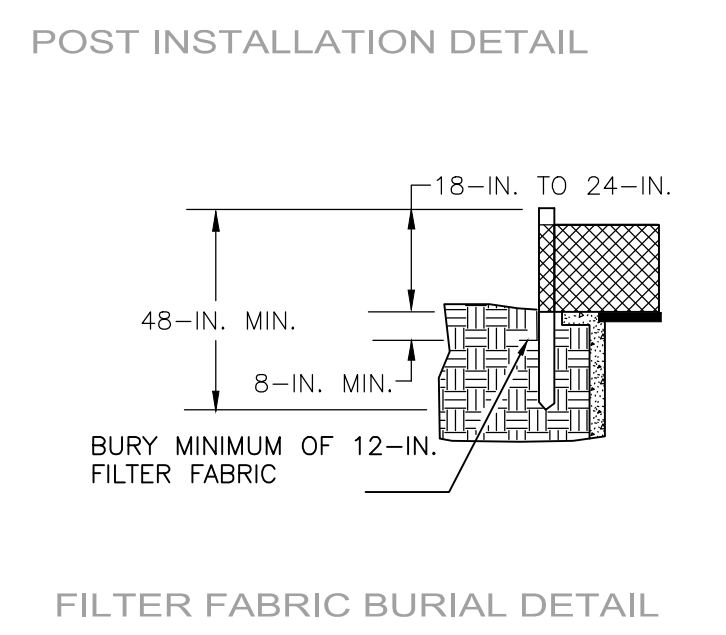
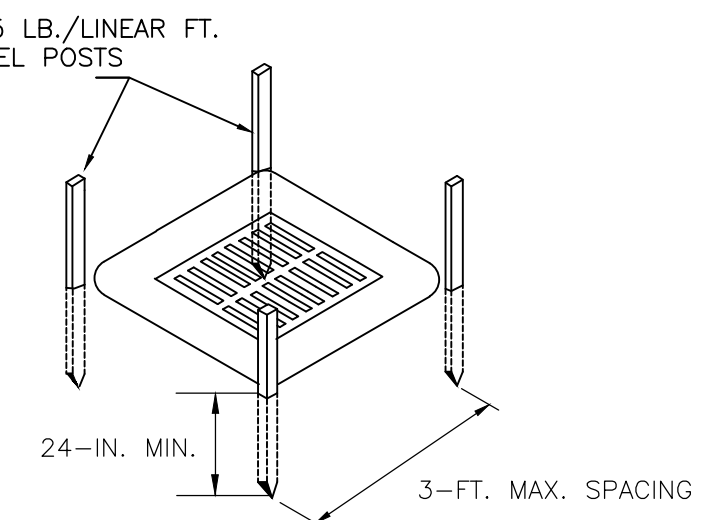
Repair any broken pavement immediately.



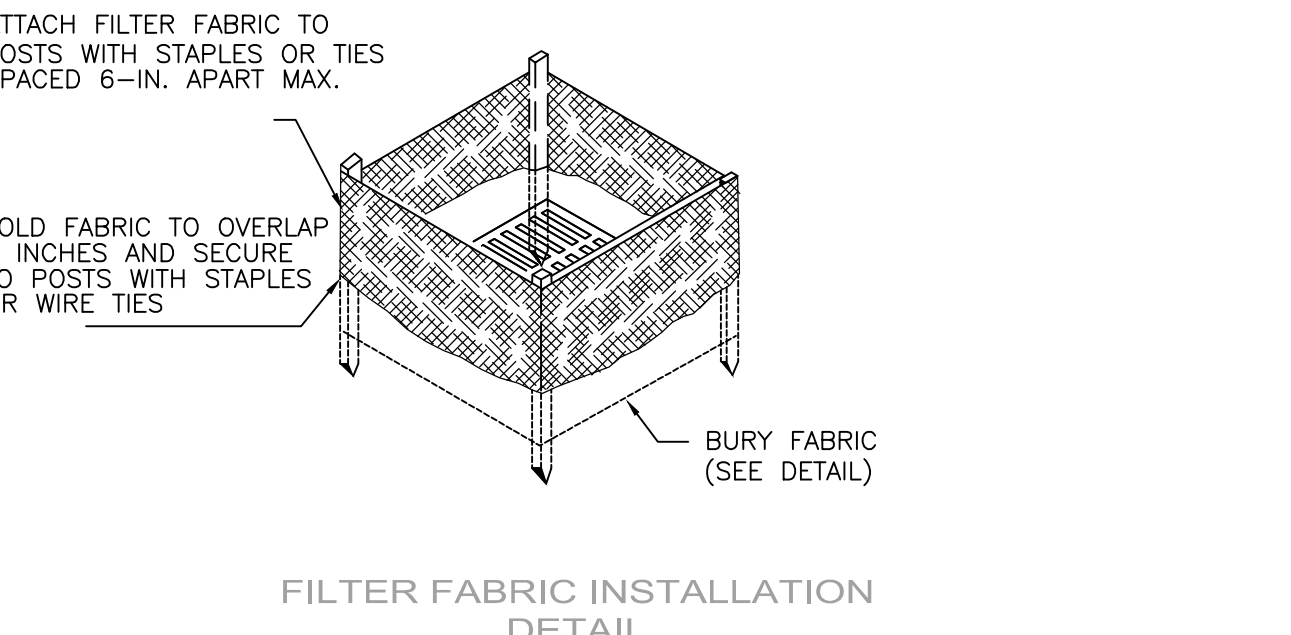
CONCRETE WASHOUT
NOT TO SCALE



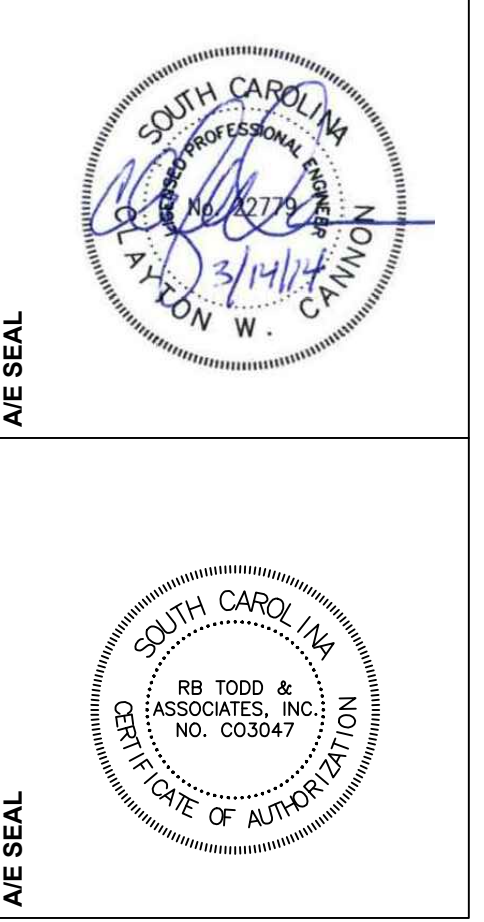
SILT FENCE
NOT TO SCALE



8 **PALMETTO PLANTING**
NOT TO SCALE



TYPE A - FILTER FABRIC INLET PROTECTION
NOT TO SCALE



PROJECT TITLE
CONVERT THE SQUASH/BALL CT INTO BIKE SHOP

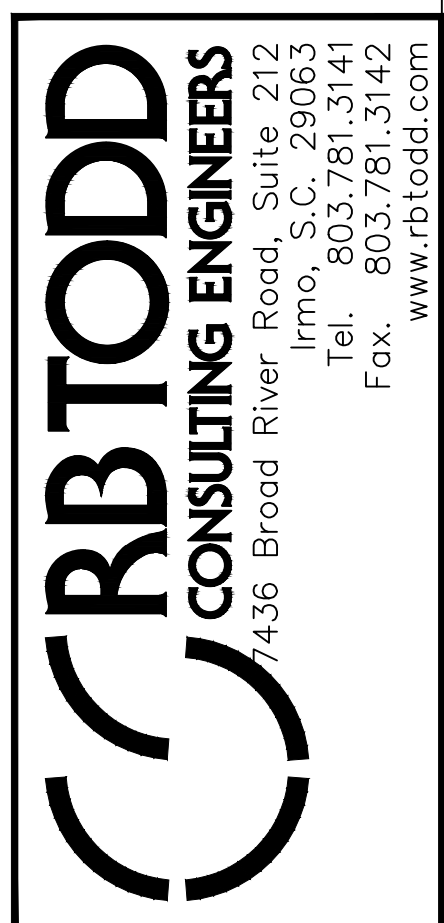
1300 Wheat Street
Columbia, SC 29208
Project No.: H27-Z134

NO.	REVISIONS	NAME	DATE

DRAWN BY: C.W.C.
CHECKED BY: C.W.C.

DRAWING TITLE
SITE DETAILS

PROJECT NO. C5.0
DATE 05/07/14
DRAWING NO. C5.0



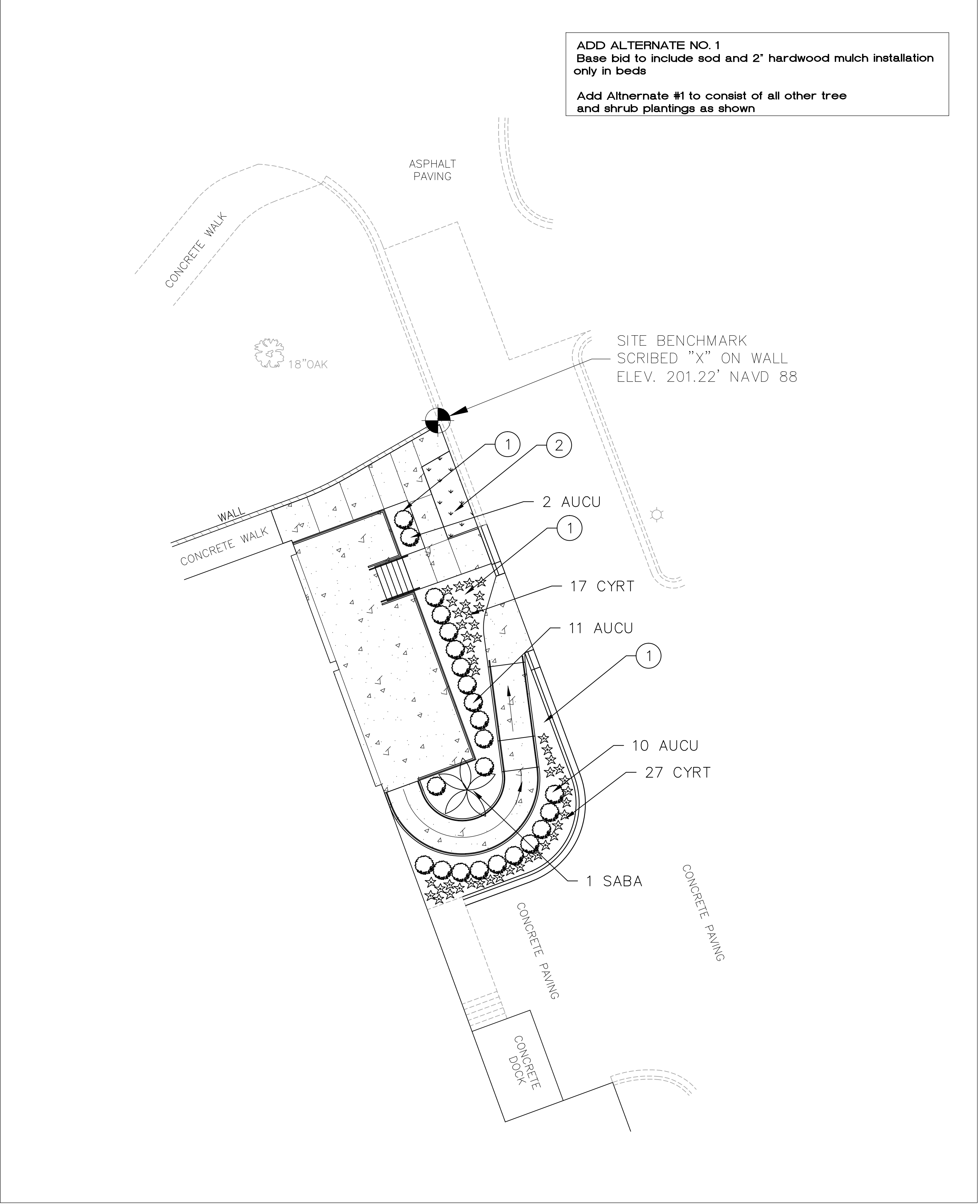
LANDSCAPE SPECIFICATIONS

1. The term contractor shall refer to the landscape contractor in the landscape specifications.
2. The contractor shall notify the architect if existing site conditions are found to be different than shown on the landscape plan. The contractor shall keep a copy of the landscape plan and specifications on the site at all times while work is in progress. Request clarification from architect if any conflicts occur between plans, notes and specifications.
3. All plants shall conform to "American Standard for Nursery Stock", latest edition. All plants shall be symmetrical, typical of their species, sound, healthy, vigorous, free from disease and pests and shall have normal root systems. Plants shall be transported with a covering to avoid wind damage. Plants not found to be acceptable shall be removed from site and replaced at contractors expense.
4. All plants shall be warranted against death or unhealthy condition for a period of one (1) year from date of final acceptance of the landscape installation. Theft of plants, vandalism or lack of reasonable care are excluded from this warranty. Owner to provide adequate watering. To exclude a plant from this warranty due to lack of reasonable care, such as lack of adequate watering or abuse, the contractor must notify the owner/owner representative in writing prior to death of plant.
5. Landscape work includes but is not limited to grubbing out weeds, soil preparation, tilling, planting, mulching, weed control and clean-up.
6. No part of this work shall be performed or installed in any manner or location which would endanger the health, safety or welfare of the public now or in the future.
7. The contractor agrees that he/she shall assume sole and complete responsibility for the job related site con landscape installation, including safety of all persons and property: that this requirement shall apply continuously and not be limited to normal business hours.
8. During installation all on-site plant material must be watered and all work maintained by the contractor for the entire installation period.
9. The contractor shall comply with all applicable rules, regulations, laws and ordinances imposed by authorities having jurisdiction over the project site. If any of the plans or specifications are in conflict with the governing regulations then the plans or specifications shall not apply and the contractor shall give written notice of the conflicts.
10. Where sizes are given, these are minimum sizes.
11. All substitutions must be in writing and can only be approved by architect in writing. Any requests for on-site meetings must be scheduled with a minimum of 48 hours notice to architect.
12. Contractor shall not change grade to cause water to stand or divert water runoff in an inappropriate manner. Contractor shall put up necessary erosion control fabric to contain soil on-site.
13. Grade at start of landscape installation shall be +/- 0.1' finished grade. Fine grade and remove rocks 2" diameter or larger. Eliminate depressions that would hold water. Inform architect of drainage problems prior to installation starting. All grades shall slope away from building for adequate positive drainage. Final grade shall be made smooth and even by contractor.
14. Remove all existing sod and weeds in proposed plant beds prior to installation.
15. Contractor shall provide full adequate agronomic soil test with recommendations for amendments no less than 2 weeks prior to installation. A copy shall be sent to the architect. Take random samplings across site.
16. Call to locate utilities prior to digging. Contact architect if there are any conflicts with utilities and designated planting areas.
17. Install irrigation prior to plantings. Provide owner with accurate as-built prior to final acceptance. Coordinate with Owner where existing irrigation can be pulled from and include irrigation design to adequate water proposed installation.
18. All planting areas shall receive the following soil preparation prior to planting. Till all beds to the depth of 6". Incorporate the following soil amendments. Quantities are minimums per 1,000 s.f.
 - A. 3 cubic yards of mushroom compost
 - B. 15 lbs. of agricultural gypsum
 - C. 25 lbs of 16-4-8 100% slow release fertilizer
19. Burden of proof of soil amendment shall rest on contractor. Soil tests if necessary to confirm compliance with soil amendment shall be completed at expense of contractor.
20. Tree calipers shall be measured 6" above the rootball for trees 4" caliper or less and 12" above the rootball for trees in excess of 4" caliper.
21. No B&B plants shall be accepted if the rootball is broken or loose.
22. Trees shall be planted no closer than 4' from all hardscaping.
23. Trees shall not be planted any closer than 4' from utility lines. Relocate slightly if necessary.
24. Rootball for containerized plants shall hold all soil from pot when removed from pot, but not be rootbound.
25. Planting hole shall be made 2 times the width of the rootball. Set plant with rootball to match previous grade. Set plant in center of hole, plumb and with best side out towards highest visibility. Backfill in a manner that avoids air pockets. Backfill to be 2 parts soil:1 part mushroom compost:
26. Set B&B plants in hole to with rootball to match previous grade, backfill 2/3 , remove top portion of burla complete backfill. Backfill to be 3 parts soil from pit: 1 part mushroom compost.
27. Apply pre-emergence as per manufacturers recommendations. Check label for plant compatibility. All chemicals to be kept in their original container and shall be handled and applied in accordance with laws.
28. Install shredded hardwood mulch to all beds as shown for a depth of 2 inches. Treat with preemergent herbicide prior to mulch installation.
29. Guy and stake trees. Guy in a manner that avoids putting stress on smaller limbs and avoid wires scragging
30. Remove all tags from trees to avoid future girdling.
31. Deep water all new planting within the first 24 hours of installing. Keep watered as necessary during entire installation period.
32. All pruning must have prior written approval by architect.
33. Areas not designated as planting beds shall be sodded as per plans. All grass shall be common Bermuda
34. All areas to be sodded or seeded shall be disked or tilled to the depth of 6", then fine graded. Remove weeds, stones and debris prior to laying sod. Eliminate any unevenness prior to installation.
35. Lay sod with hand tight joints. Lay perpendicular to slope. Roll to assure good contact of roots with soil
36. Lightly water immediately after installation.
37. Apply a preemergent to control weeds. DO NOT APPLY PREEMERGENT TO AREAS TO BE SEEDDED. All disturbed areas not designated as planting bed or sod shall be seeded. Seed for permanent stand of grass. Bare areas 8" diameter or greater shall be reseeded.
38. Apply a root stimulating fertilizer as per manufacturers recommendations.
39. Clean up site daily of all related materials in regards to landscape installation. Keep tools safely placed during daily progress.
40. Contractor shall maintain landscape throughout the installation until time of final acceptance.
41. Any plants that die or are found to be unacceptable shall be replaced within 6-8 weeks of notification, weather and planting conditions permitting.

ADD ALTERNATE NO. 1
PLANT LIST

ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
AUCU	AUCUBA JAPONICA	JAPANESE AUCUBA	3 GALL, 3' O.C.	23
CYRT	CYRTOMIUM FALCATOM	HOLLY FERN	3 GALLON, 2' O.C.	44
SABA	SABAL PALMETTO	PALMETTO	14' HEIGHT	1

NOTES:
 1) CONTRACTOR TO REPAIR ANY SOD AREAS DAMAGED WITH NEW AS REQUIRED
 2) HARDWOOD MULCH TO BE 2" THICK

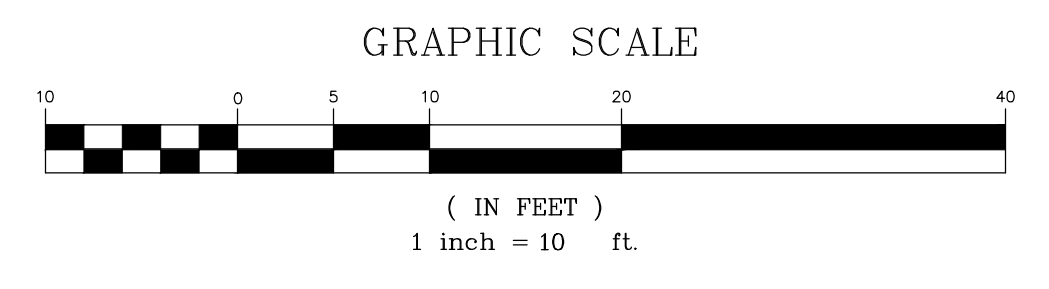
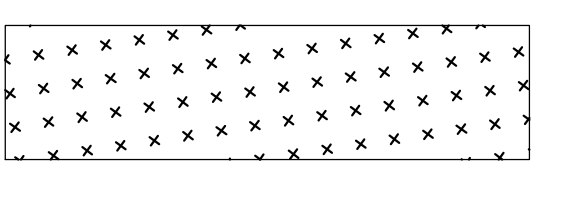


KEY NOTES

- ① NEW 2" THICK HARDWOOD MULCH
- ② NEW COMMON BERMUDA SOD

LANDSCAPE LEGEND

PROPOSED SOD
 PROPOSED SHRUB
 PROPOSED TREE



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AE SEAL	AE SEAL
PROJECT TITLE CONVERT THE SQUASH/BALL CT INTO BIKE SHOP	
1300 Wheat Street Columbia, SC 29208 Project No.: H27-Z154	
NO.	DATE
REVISIONS	NAME
DRAWN BY:	C.W.C.
CHECKED BY:	C.W.C.
THIS DRAWING AND THE WORK HEREON REPRESENTS THE PROFESSIONAL DESIGN AND/OR CONSTRUCTION OF A REGISTERED PROFESSIONAL ENGINEER. THE REGISTERED PROFESSIONAL ENGINEER IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THIS PROJECT.	
DRAWING TITLE	LANDSCAPE PLAN
PROJECT NO. L27-14	DATE 06.07.14
DRAWING NO. L1.0	

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GENERAL NOTES - DEMOLITION PLAN

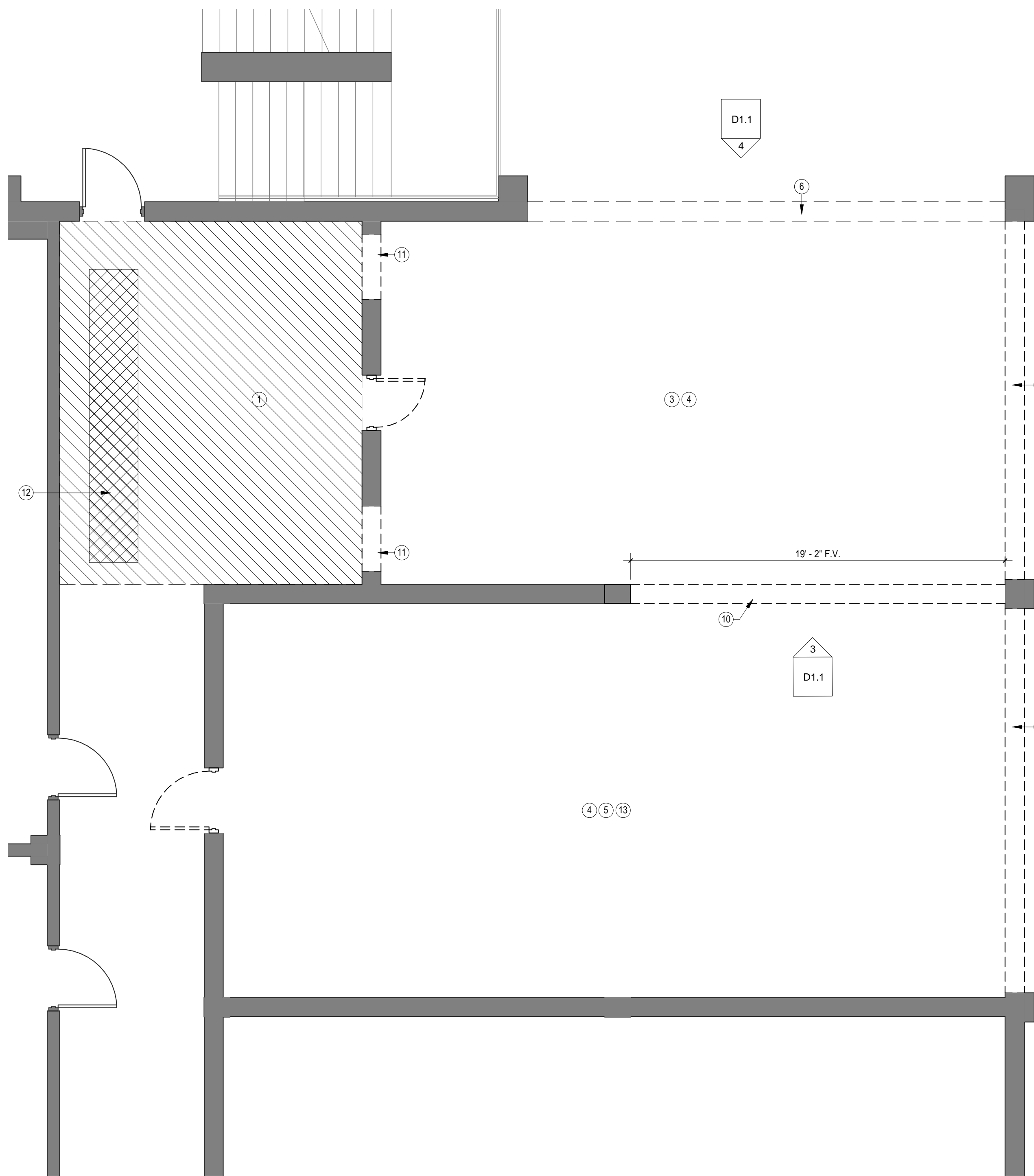
- FIELD VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND NEW WORK. EXISTING BUILDING INFORMATION SHOWN IS BASED ON THE EXISTING DRAWINGS PROVIDED BY THE OWNER. GENERAL CONTRACTOR AND SUB-CONTRACTORS ARE TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BID AND PRIOR TO CONSTRUCTION/DEMOLITION.
- PROVIDE AND INSTALL ALL SHORING AND SUPPORT SYSTEMS NECESSARY TO ENSURE EXISTING STRUCTURE TO REMAIN IS STABLE THROUGHOUT DEMOLITION AND NEW CONSTRUCTION.
- ALL DEMOLITION REQUIRED FOR FUTURE INSTALLATION OF MECHANICAL CHASES AND PIPING TO BE COORDINATED WITH MECHANICAL DRAWINGS, EQUIPMENT SPECIFICATIONS, AND STRUCTURAL DRAWINGS.
- CONTACT OWNER UPON DISCOVERY OF ANY SUSPECTED ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED WITHIN THE PROJECT SCOPE.
- CONTACT ARCHITECT IF ANY EXISTING MATERIALS TO BE DEMOLISHED ARE IN QUESTION. SEE CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL PHOTOGRAPH ALL SPACES PRIOR TO COMMENCEMENT OF RENOVATION/NEW WORK TO DOCUMENT PRE-CONSTRUCTION CONDITIONS. PROVIDE ARCHITECT WITH ELECTRONIC COPIES OF PHOTOGRAPHS.
- CAREFULLY REMOVE ALL "MASONRY INFILL" WALL CONSTRUCTION AS INDICATED ON DEMOLITION PLANS AND ELEVATIONS. REVIEW CONCRETE OPENING CONDITIONS/DETAILS WITH ARCHITECT AND WINDOW AND DOOR SUPPLIER TO ENSURE THAT CONCRETE OPENINGS AND WINDOW INSTALLATION REQUIREMENTS ARE COORDINATED.
- PROTECT EXISTING WOOD FLOORING TO REMAIN THROUGHOUT DEMOLITION AND NEW CONSTRUCTION.
- SEE CIVIL, ELECTRICAL, MECHANICAL, PLUMBING AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING THE AREAS OF THE EXISTING CONCRETE SLAB TO BE REMOVED.
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING EXISTING COLUMNS AND BEAMS. PROTECT ALL EXISTING WALLS, COLUMNS, AND STRUCTURE TO REMAIN.
- INSTALL SELF-LEVELING FLOOR MATERIAL TO ALL FLOOR AREAS THAT ARE TO BE TO BE IN-FILL WITH NEW SLABS TO ENSURE FLUSH, SMOOTH FINISH FLOOR PLANE CONDITIONS THROUGHOUT RENOVATED BUILDING.
- CORE DRILLING IN EXISTING SLAB FOR NEW UTILITY SERVICE IS NOT SHOWN ON THIS PLAN. SEE MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR REQUIRED UTILITY ROUTING.
- PROTECT ALL EXISTING WATERPROOFING THROUGHOUT DEMOLITION & NEW CONSTRUCTION. PHOTOGRAPH ANY DISTURBED OR DAMAGED WATERPROOFING AREAS AND NOTIFY ARCHITECT OF CONDITIONS PRIOR TO INSTALLING NEW WORK OR BACKFILLING AREAS.
- REPAIR BOTTOM OF ALL EXISTING COLUMNS AROUND BASE OR HEAD WHEN SURROUNDING SLAB IS REMOVED. SEE SPECIFICATIONS FOR APPLICABLE SURFACE PREPARATION AND PRODUCTS TO BE UTILIZED FOR PATCHING.
- ITEMS TO BE SALVAGED AND REMOVED BY OWNER WILL BE MOVED PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- HAZARDOUS MATERIALS ARE PRESENT IN THE SCOPE OF DEMOLITION/CONSTRUCTION. A REPORT ON THE PRESENCE OF HAZARDOUS MATERIALS IS ON FILE FOR REVIEW. HAZARDOUS MATERIALS SHALL BE REMOVED BY OWNER PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN THROUGHOUT CONSTRUCTION/DEMOLITION.
- REMOVE PLASTER CEILING ONLY AS NECESSARY FOR INSTALLATION OF NEW LIGHTS, FANS, MECHANICAL EQUIPMENT AND OVERHEAD DOORS. AREAS NOT NOTED TO REMAIN OPEN SHALL BE PATCHED WITH 1/2" GYPSUM BOARD AND SANDED SMOOTH WITH EXISTING PLASTER CEILING FINISH.

KEYNOTES - DEMOLITION PLAN

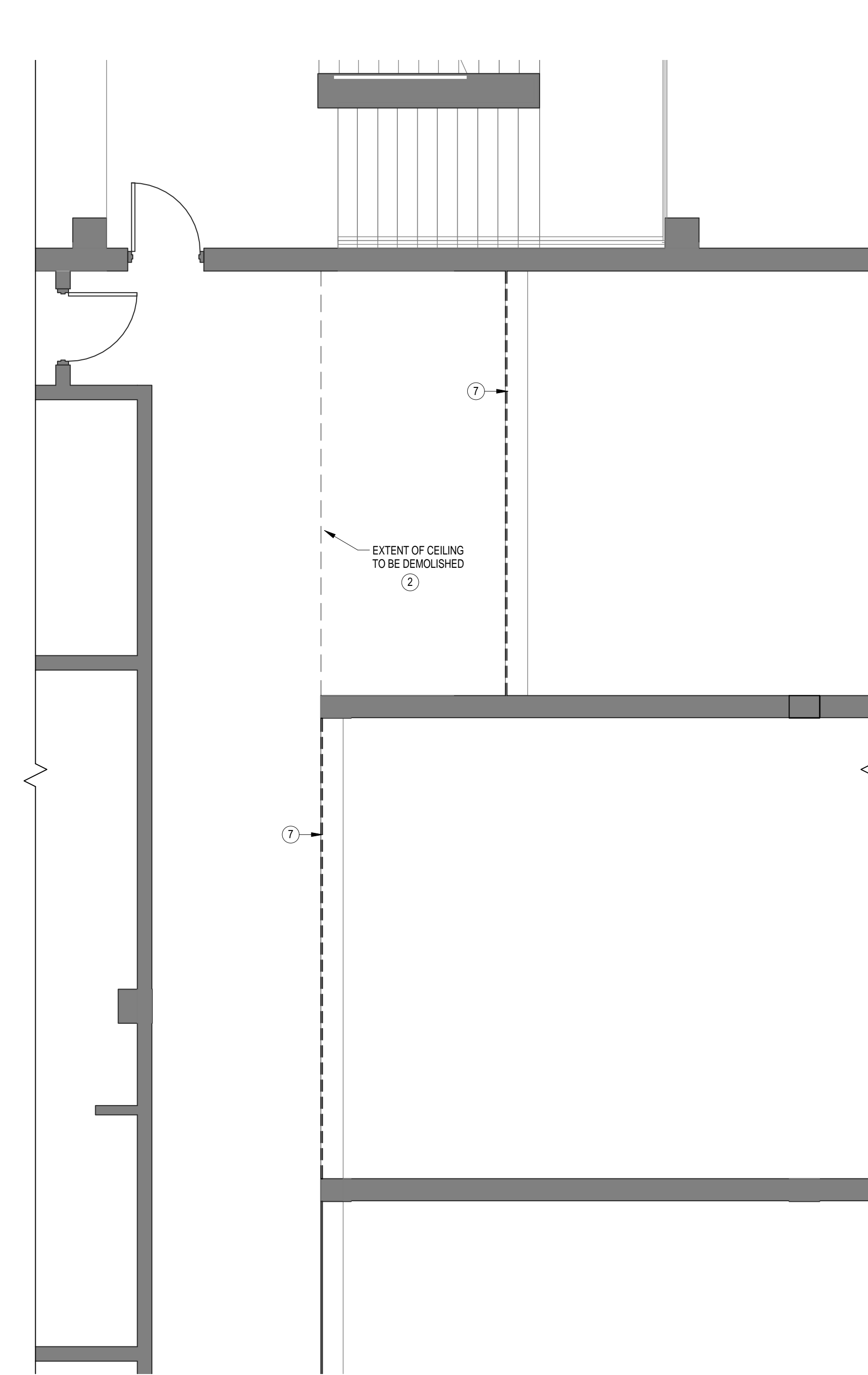
- EXISTING VCT FLOORING TO BE REMOVED. PATCH AND FILL AS REQUIRED FOR LEVEL SURFACE.
- REMOVE EXISTING LAY-IN CEILING TILES AND GRID.
- EXISTING WOOD FLOORING TO REMAIN. REPAIR / PROTECT FLOOR AS REQUIRED.
- EXISTING PLASTER CEILING, LIGHTS, FRAMING, VENTS, AND ALL OTHER ASSOCIATED FIXTURES TO REMAIN UNLESS NOTED OTHERWISE.
- REMOVE EXISTING TOP LAYER (RAISED) WOOD FLOOR. REPAIR / PROTECT ORIGINAL (BASE LAYER) WOOD FLOORING BELOW AS REQUIRED.
- REMOVE EXISTING BRICK / CONCRETE BLOCK INFILL WALL.
- REMOVE EXISTING INFILL BOARDS.
- EXISTING CEILING GRID AND TILES TO REMAIN. REPAIR / PROTECT GRID AS REQUIRED.
- REMOVE EXISTING LIGHT FIXTURE.
- REMOVE EXISTING WALL BELOW BEAM TO COLUMN.
- REMOVE EXISTING WALL AS REQUIRED AND PREPARE OPENING FOR NEW DOOR INSTALLATION.
- REMOVE EXISTING CONCRETE SLAB AS NECESSARY. COORDINATE WITH PLUMBING AND VERIFY IN FIELD. SEE STRUCTURAL FOR UTILITY INFILL SLAB.
- REMOVE EXISTING ACOUSTICAL WALL PANELS, CHAIR RAIL, MIRRORS, AND CURTAINS.
- REMOVE PORTION OF EXISTING PLASTER CEILING.

LEGEND - DEMOLITION PLAN

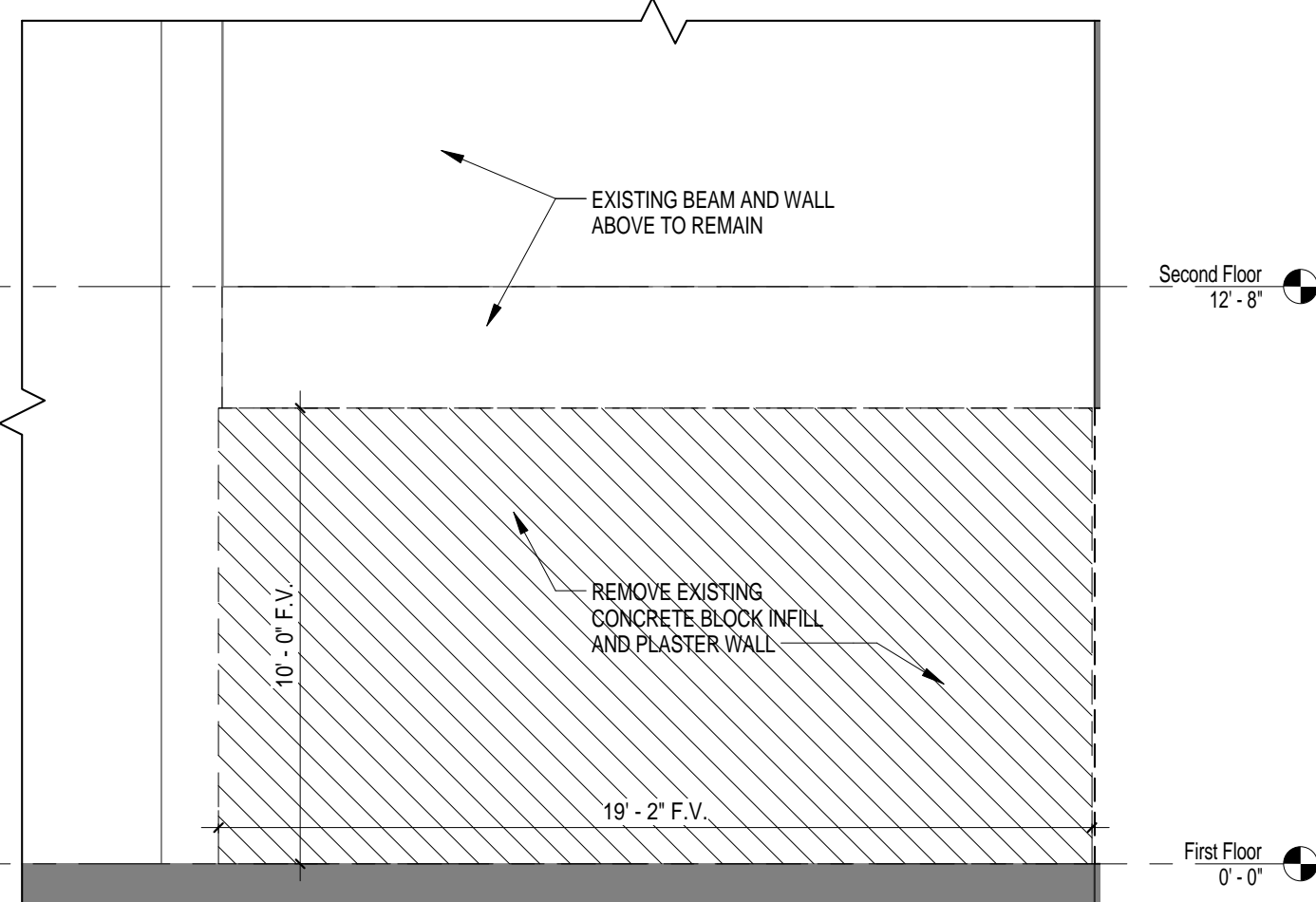
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- EXISTING DOOR TO BE DEMOLISHED
- EXISTING DOOR TO BE REMAIN
- AREA TO BE DEMOLISHED



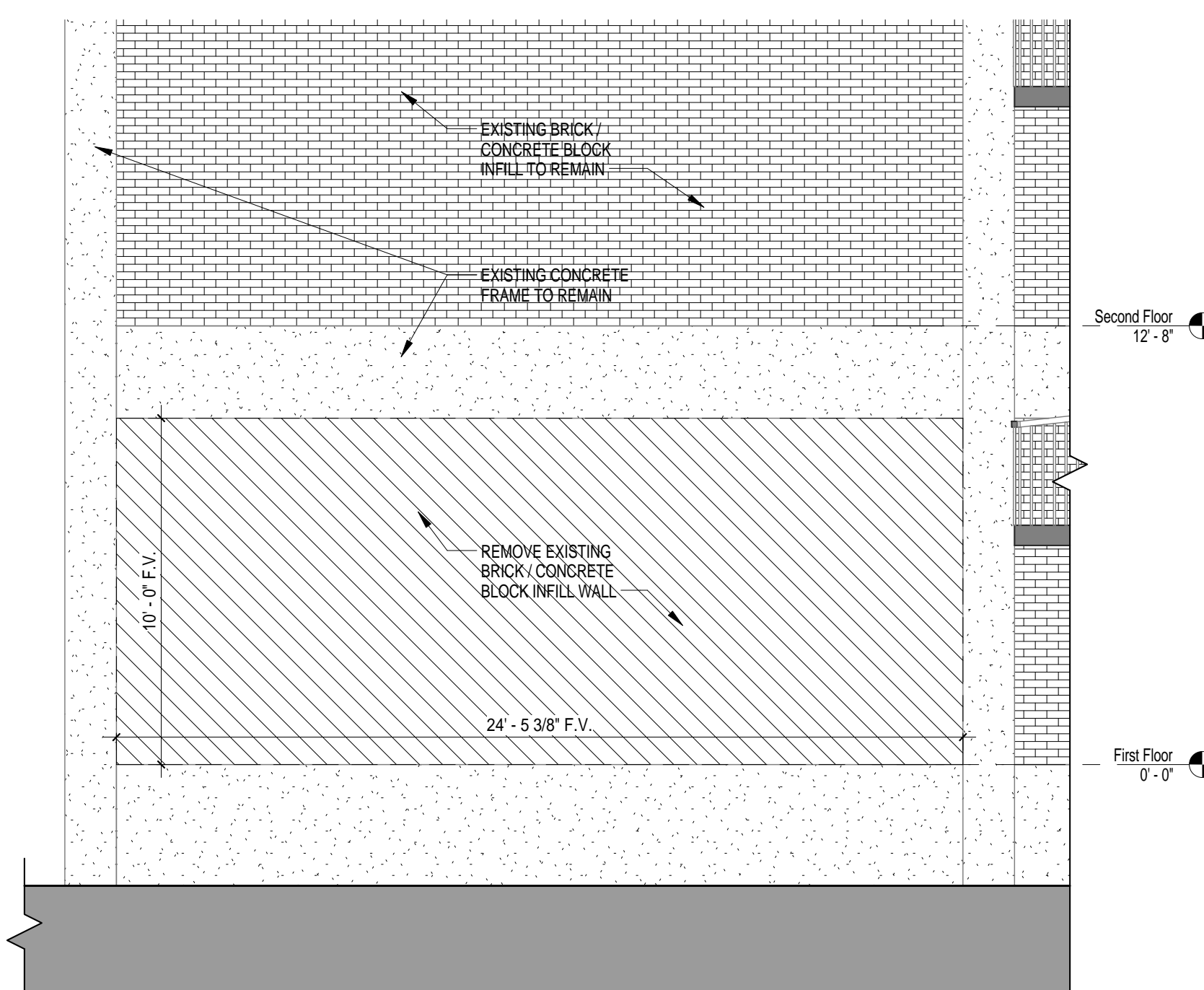
1 FIRST FLOOR DEMOLITION PLAN
D1.1 1/4" = 1'-0" REFERENCED ON: A1.1



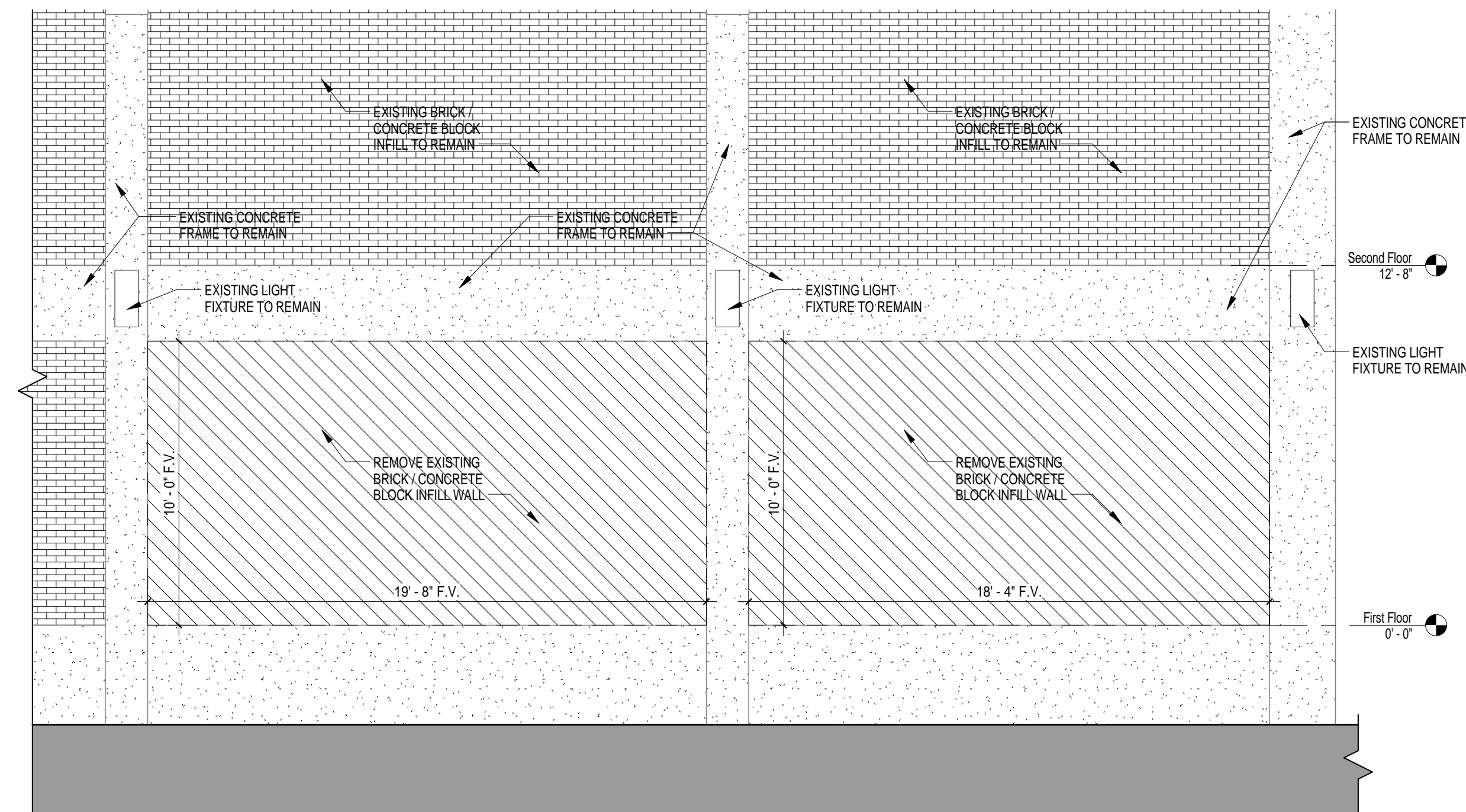
2 SECOND FLOOR DEMOLITION PLAN
D1.1 1/4" = 1'-0" REFERENCED ON: A4.1



3 INTERIOR DEMOLITION ELEVATION
D1.1 1/4" = 1'-0" REFERENCED ON: D1.1



4 NORTH DEMOLITION ELEVATION
D1.1 1/4" = 1'-0" REFERENCED ON: D1.1



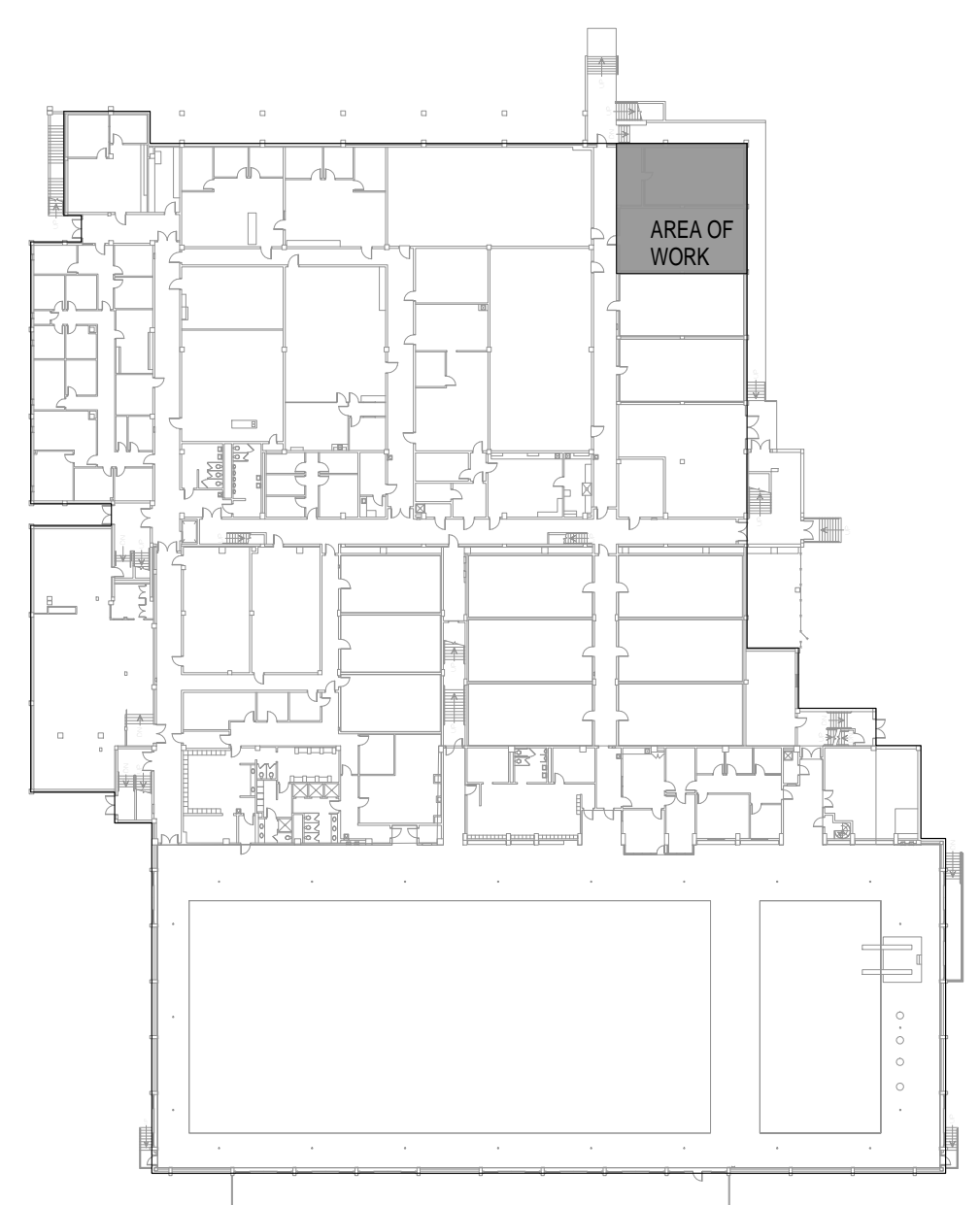
5 EAST DEMOLITION ELEVATION
D1.1 1/4" = 1'-0" REFERENCED ON: D1.1

NO.	REVISIONS	DATE

DRAWN BY: _____
CHECKED BY: _____
AUTHOR: _____
CHECKER: _____

DRAWING TITLE
DEMOLITION PLANS AND DEMOLITION ELEVATIONS

PROJECT NO. _____
DATE _____
DRAWING NO. **D1.1**



KEY PLAN

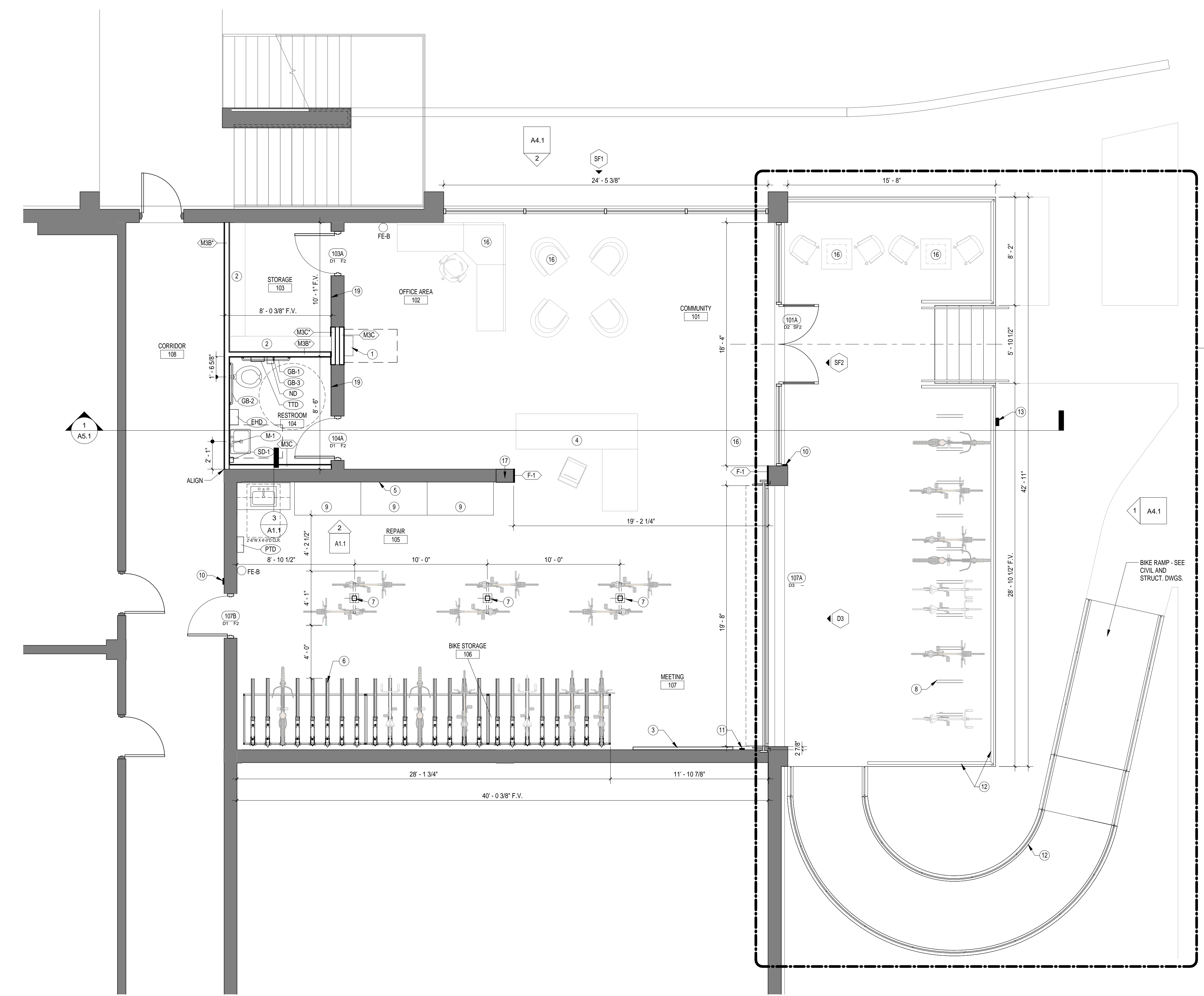
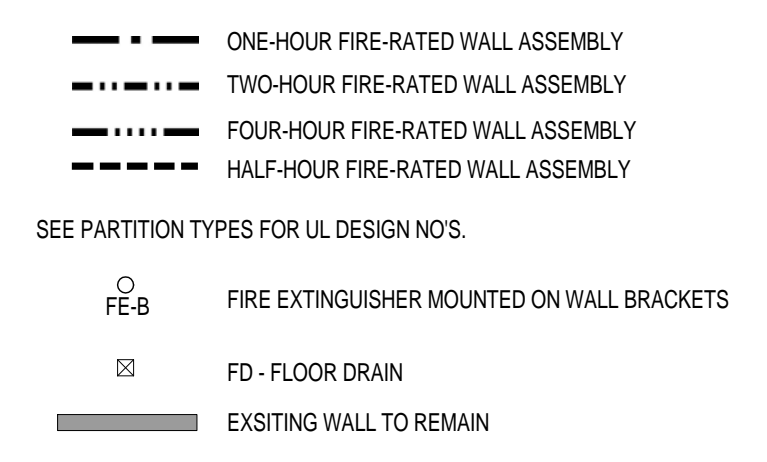
GENERAL NOTES - FLOOR PLAN

- SEE T1.1 FOR MINIMUM REQUIRED ADA MANEUVERING CLEARANCES, VERIFY EXACT FEB AND FEC LOCATIONS WITH ARCHITECT - CENTER FECS ON VERTICAL MORTAR JOINTS IN EXPOSED CMU WALLS.
- SEE T1.1 FOR REQUIRED UL ASSEMBLIES OF ALL BUILDING SYSTEMS, ALL PENETRATIONS THROUGH RATED WALL AND FLOOR ASSEMBLIES MUST COMPLY WITH UL DESIGN FOR PENETRATIONS.
- DIMENSIONS INDICATED ON THESE DRAWINGS ARE TO FACE OF CMU WALL, FACE OF EXTERIOR VENEER, FACE OF STUD WALL, OR CENTERLINE OF COLUMN UNLESS OTHERWISE INDICATED. COORDINATE ALL DIMENSIONS WITH STRUCTURAL DIMENSION PLANS, ENLARGED PLANS, SECTION AND DETAIL DRAWINGS, AND STRUCTURAL DRAWINGS AND VERIFY EXACT LOCATIONS. COORDINATE ALL FLOOR SLAB PENETRATIONS WITH SYSTEM DRAWINGS (S, MS, PS, AND ES) AND ACTUAL PRODUCT TO BE INSTALLED AND VERIFY LOCATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION.
- SEE FINISH SCHEDULES AND PLANS FOR FLOOR PATTERNS AND FLOOR FINISH REFERENCES.
- EXTERIOR MASONRY OPENINGS TO RECEIVE STOREFRONT, DOORS, WINDOWS, LOUVERS, OR OTHER ELEMENTS SHALL BE FIELD VERIFIED PRIOR TO MANUFACTURE OF SYSTEM.
- INTERIOR METAL STUD OPENINGS TO RECEIVE STOREFRONT, DOORS, GRILLS, LOUVERS, OR OTHER ELEMENTS SHALL BE FIELD VERIFIED PRIOR TO MANUFACTURE OF SYSTEM. LOCATION OF ALL RECESSED CABINETS AND EQUIPMENT WALL PENETRATIONS MUST BE VERIFIED PRIOR TO INSTALLATION. ANY CONFLICTS WITH INDICATED DIMENSIONS OR LOCATIONS SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
- ALL EXISTING COLUMNS ARE TO REMAIN.
- PATCH ALL EXISTING HOLES IN CONCRETE STRUCTURE TO REMAIN, SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- HAZARDOUS MATERIALS ARE PRESENT IN THE SCOPE OF DEMOLITION/CONSTRUCTION. A REPORT ON THE PRESENCE OF HAZARDOUS MATERIALS IS ON FILE FOR REVIEW. HAZARDOUS MATERIALS SHALL BE REMOVED BY OWNER PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- CONTACT OWNER UPON DISCOVERY OF ANY SUSPECTED ASBESTOS-CONTAINING MATERIALS OR OTHER SUSPECTED HAZARDOUS MATERIALS NOT SHOWN TO BE REMOVED WITHIN THE PROJECT SCOPE.

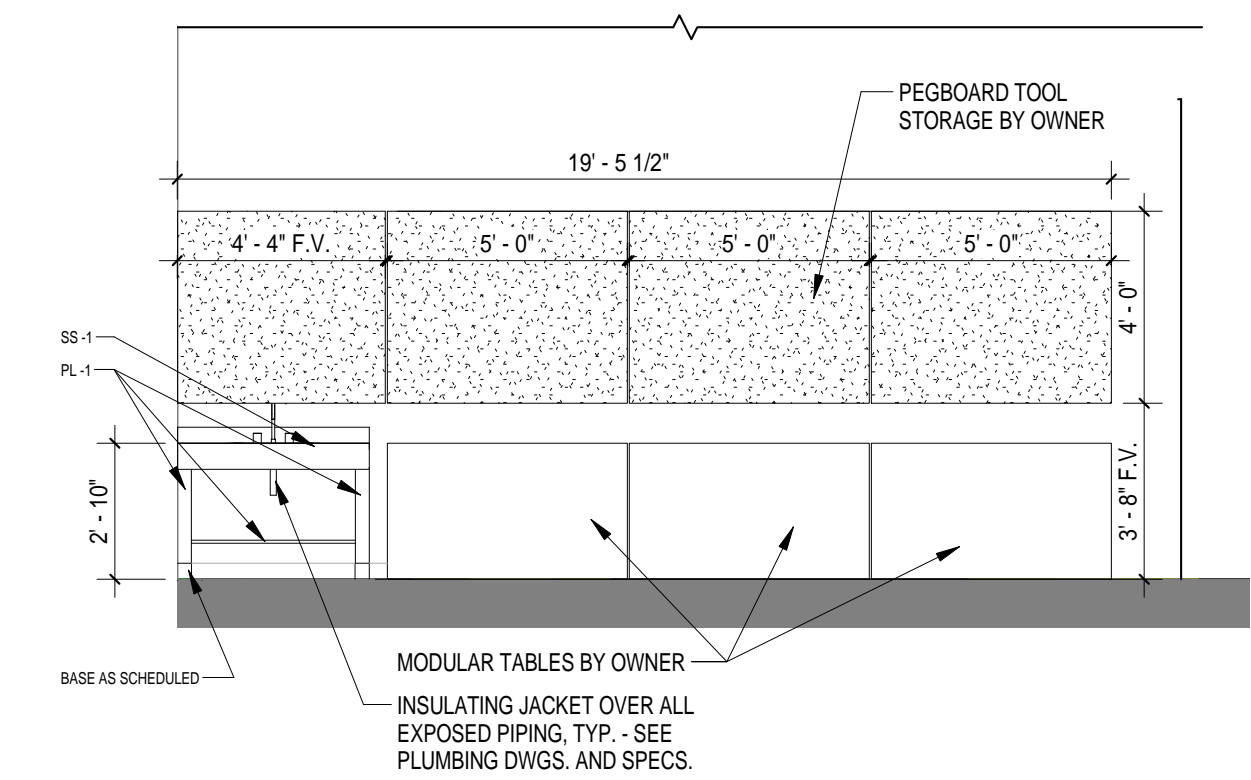
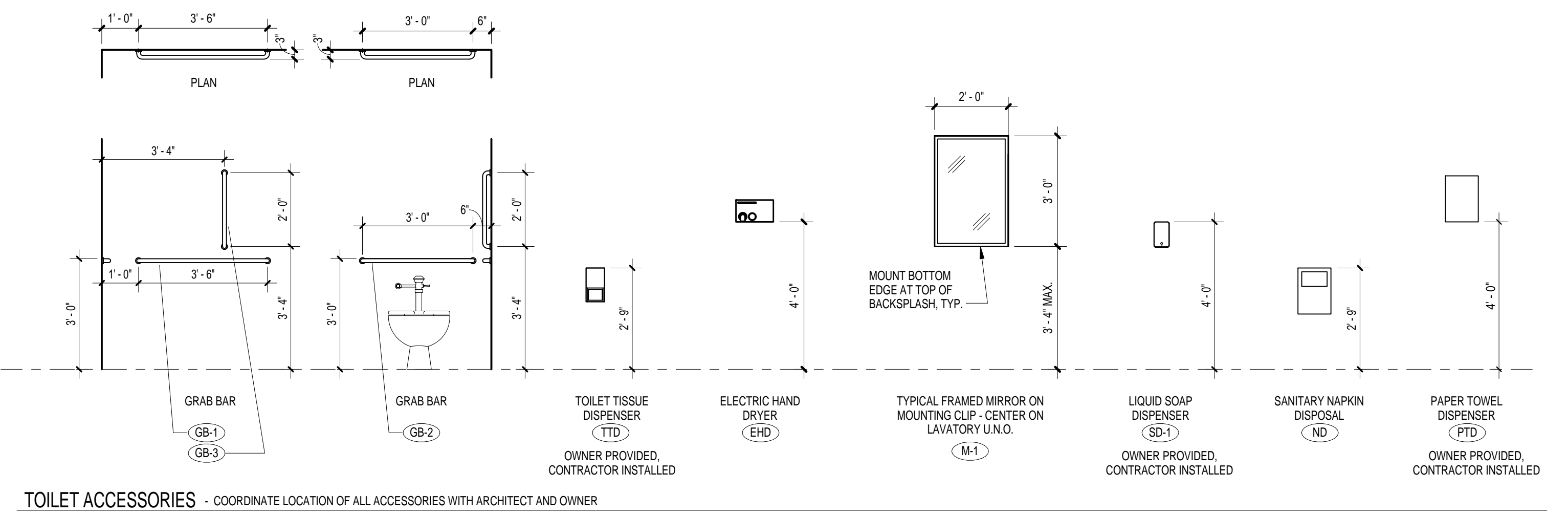
KEYNOTES - FLOOR PLAN

- WATER FILLING STATION - SEE PLUMB. DWGS.
- SHELVING, PROVIDED BY OWNER
- MARKER BOARD, PROVIDED BY OWNER
- RECEPTION DESK WITH DISPLAY CASE, PROVIDED BY OWNER
- WALL-MOUNTED PEGBOARD TOOL STORAGE, PROVIDED BY OWNER
- DOUBLE DECKER BIKE STORAGE SYSTEM, PROVIDED BY OWNER
- DOUBLE ARM BIKE REPAIR STAND, PROVIDED BY OWNER
- INVERTED U BIKE RACK, PROVIDED BY OWNER, CONTRACTOR INSTALLED. QUANTITY: 10
- MODULAR WORKSURFACE WITH LOCKABLE CASTERS, PROVIDED BY OWNER
- PROXIMITY ELECTRIC CARD READER LOCATION - SEE DOOR SCHEDULE, HARDWARE SCHEDULE, AND ELECTRICAL DWGS.
- OVERHEAD DOOR CONTROLS - SEE ELECTRICAL DWGS.
- CABLE RAILING - SEE SPECS. AND DWGS. SEE REQUESTED BREAKDOWN OF PRICING ON SHEET T1.1
- NEW EXTERIOR HOSE BIB, SEE CIVIL. COORDINATE EXACT LOCATION IN FIELD WITH OWNER/ARCHITECT.
- NOT USED
- WOOD WALL CAP TO REMAIN
- FURNITURE PROVIDED BY OWNER
- EXISTING COLUMN TO REMAIN
- NOT USED
- 5/8" GYPSUM BOARD LAMINATED TO EXISTING WALL, FLUSH WITH WALL INFL. AT EXISTING OPENING, EXTEND TO 4" MIN. ABOVE CEILING.

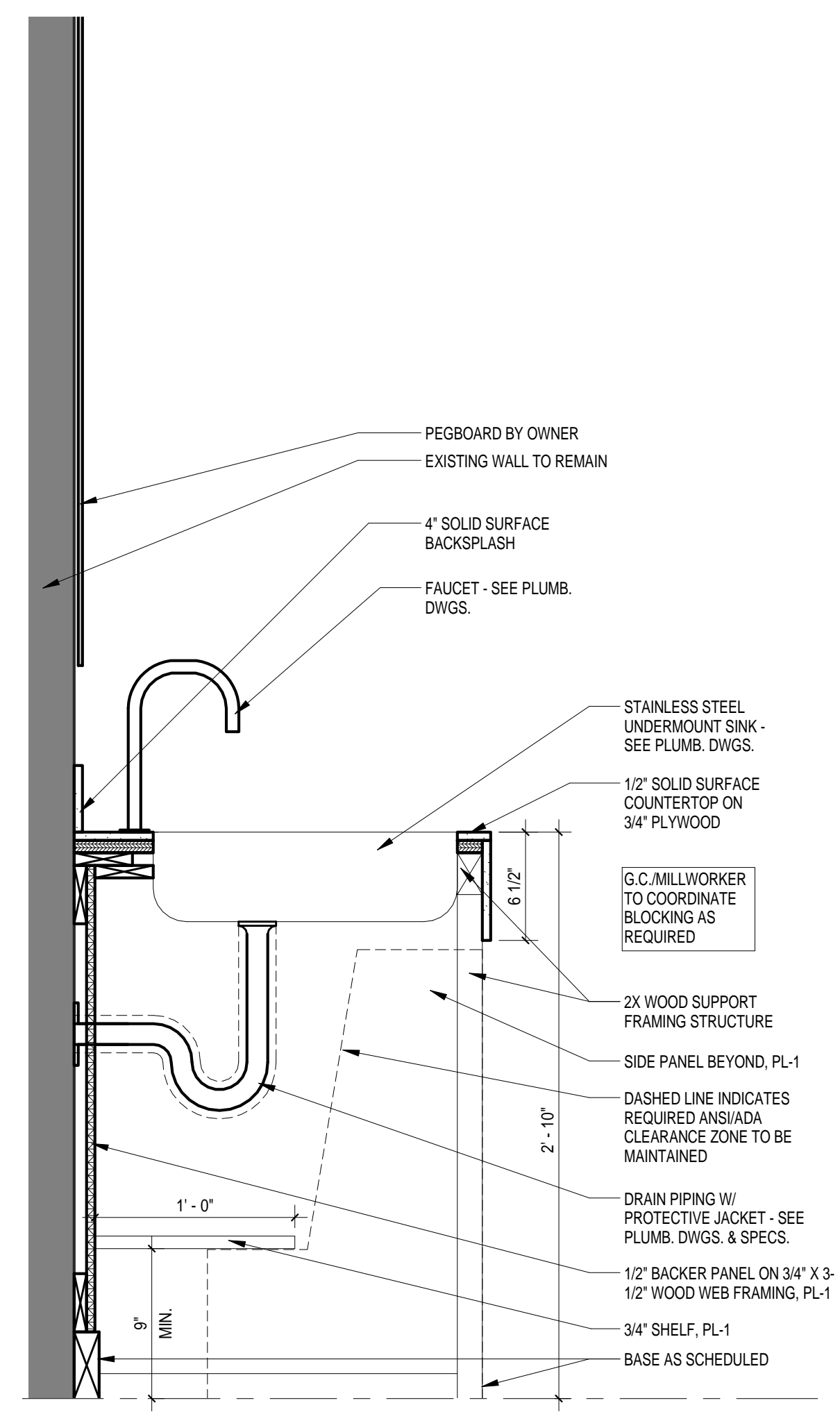
LEGEND - FLOOR PLAN



1 FIRST FLOOR PLAN
 1/4" = 1'-0" REFERENCED ON: A1.1



2 INTERIOR ELEVATION
 1/4" = 1'-0" REFERENCED ON: A1.1



3 CASEWORK SECTION
 1 1/2" = 1'-0" REFERENCED ON: A1.1

PROJECT TITLE
 CONVERT THE SQUASH/BALL CT INTO BIKE SHOP

1300 Wheat Street
 Columbia, SC 29208
 Project No.: HZ7-Z104

NO.	REVISIONS	DATE

DRAWN BY: [Signature]
CHECKED BY: [Signature]

DRAWING TITLE
 FIRST FLOOR PLAN AND INTERIOR ELEVATIONS

PROJECT NO. HZ7-Z104
DATE 06.07.14
DRAWING NO. A1.1

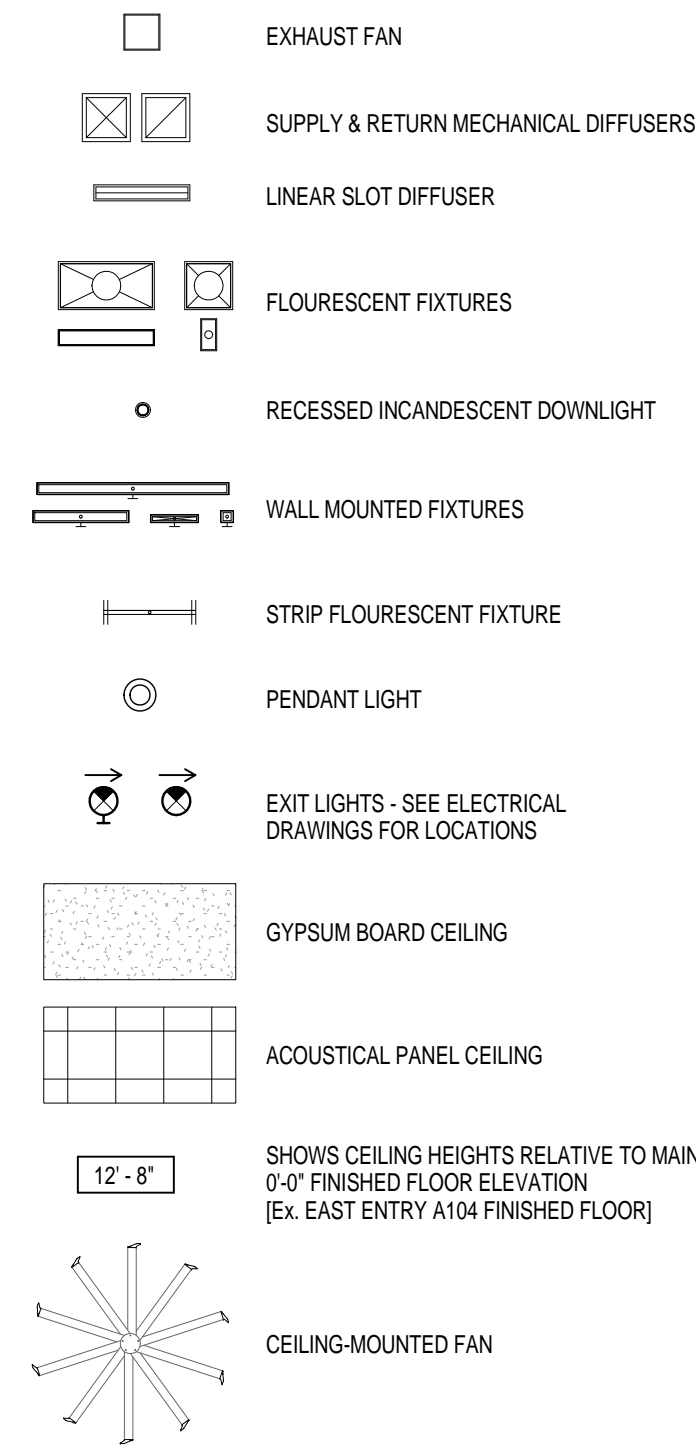
GENERAL NOTES - REFLECTED CEILING PLAN

- REFER TO ELECTRICAL DRAWINGS FOR QUANTITY AND SPECIFIC FIXTURE DESIGNATIONS.
- ALL SUSPENDED ACoustical GRIDS ARE TO BE CENTERED IN CEILING ROOM AS SHOWN, UNLESS NOTED OTHERWISE.
- CEILING MOUNTED EQUIPMENT, DEVICES, FIXTURES & GRILLS MUST BE COORDINATED ON REFLECTED C.L.G. PLANS.
- PAINT ALL EXPOSED STRUCTURE/CEILING AREA, INCLUDING ROOF DECK, STEEL STRUCTURE, DUCTWORK, PLUMBING LINES, FIRE SUPPRESSION LINES, ELEC. CONDUITS & BOXES AND OTHER NON-FINISHED ITEMS, EXCEPT IN MECHANICAL ROOMS, ELECTRICAL ROOM, ELEVATOR MACHINE ROOMS, AND TEL. DATA ROOMS, UNLESS NOTED OTHERWISE ON FINISH SCHEDULES AND INTERIOR ELEVATIONS.
- ACCESS PANELS BY GENERAL CONTRACTOR. SEE MECHANICAL DRAWINGS, PLUMBING DRAWINGS, AND ELECTRICAL DRAWINGS FOR ACCESS PANELS NOT SHOWN. COORDINATE EXACT LOCATION OF ACCESS PANELS NOT SHOWN WITH ARCHITECT. BRING ALL MECHANICAL AND PLUMBING ITEMS WHICH NEED ACCESS TO THE ACCESS PANEL LOCATIONS SHOWN. BRING THE NEED FOR ADDITIONAL ACCESS PANELS TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING.
- PAINT ALL EXPOSED STEEL LINTELS, ANGLES AND PLATES, AND CONCRETE BEAMS.
- REFERENCE ELECTRICAL DRAWINGS FOR FULL EXTENT OF ELECTRICAL CEILING AND WALL MOUNTED DEVICES.
- REMOVE PLASTER CEILING ONLY AS NECESSARY FOR INSTALLATION OF NEW LIGHTS, FANS, MECHANICAL EQUIPMENT AND OVERHEAD DOORS. AREAS NOT NOTED TO REMAIN OPEN SHALL BE PATCHED WITH 3/4" GYPSUM BOARD AND SANDED SMOOTH WITH EXISTING PLASTER CEILING.

KEYNOTES - REFLECTED CEILING PLAN

- TENSILE FABRIC CANOPY - SEE LEGEND AND SPECS. FIELD VERIFY ALL DIMENSIONS AND SPOT ELEVATIONS. COORDINATE EXACT LOCATION AND CONNECTION POINTS WITH ARCHITECT AND OWNER IN FIELD.
- PATCH/REPAIR EXISTING APC CEILING AS REQUIRED.
- EXISTING CONCRETE BEAM AND INFILL WALL ABOVE TO REMAIN. LAMINATE 1 LAYER GYPSUM BOARD TO UNDERSIDE OF BEAM. FIELD VERIFY THICKNESS TO ALIGN WITH ADJACENT PLASTER/GYPSUM BOARD FINISH. SAND SMOOTH AND PAINT TO MATCH.
- EXISTING LIGHT FIXTURE TO REMAIN, TYP. DISCONNECT AND PAINT TO MATCH CEILING - SEE FINISH SCHEDULE AND ELECTRICAL.
- PROVIDE METAL TRIM AT PERIMETER OF EXISTING PLASTER CEILING TO CREATE FINISHED OPENING. SEE DETAIL, APC SPEC.
- LOCATE FAN IN PLACE OF EXISTING LIGHT. PROVIDE METAL TRIM AT PERIMETER OF EXISTING PLASTER CEILING TO CREATE FINISHED OPENING. SEE DETAIL, APC SPEC.
- SEE MECHANICAL AND ELECTRICAL FOR ALTERNATE NO.1

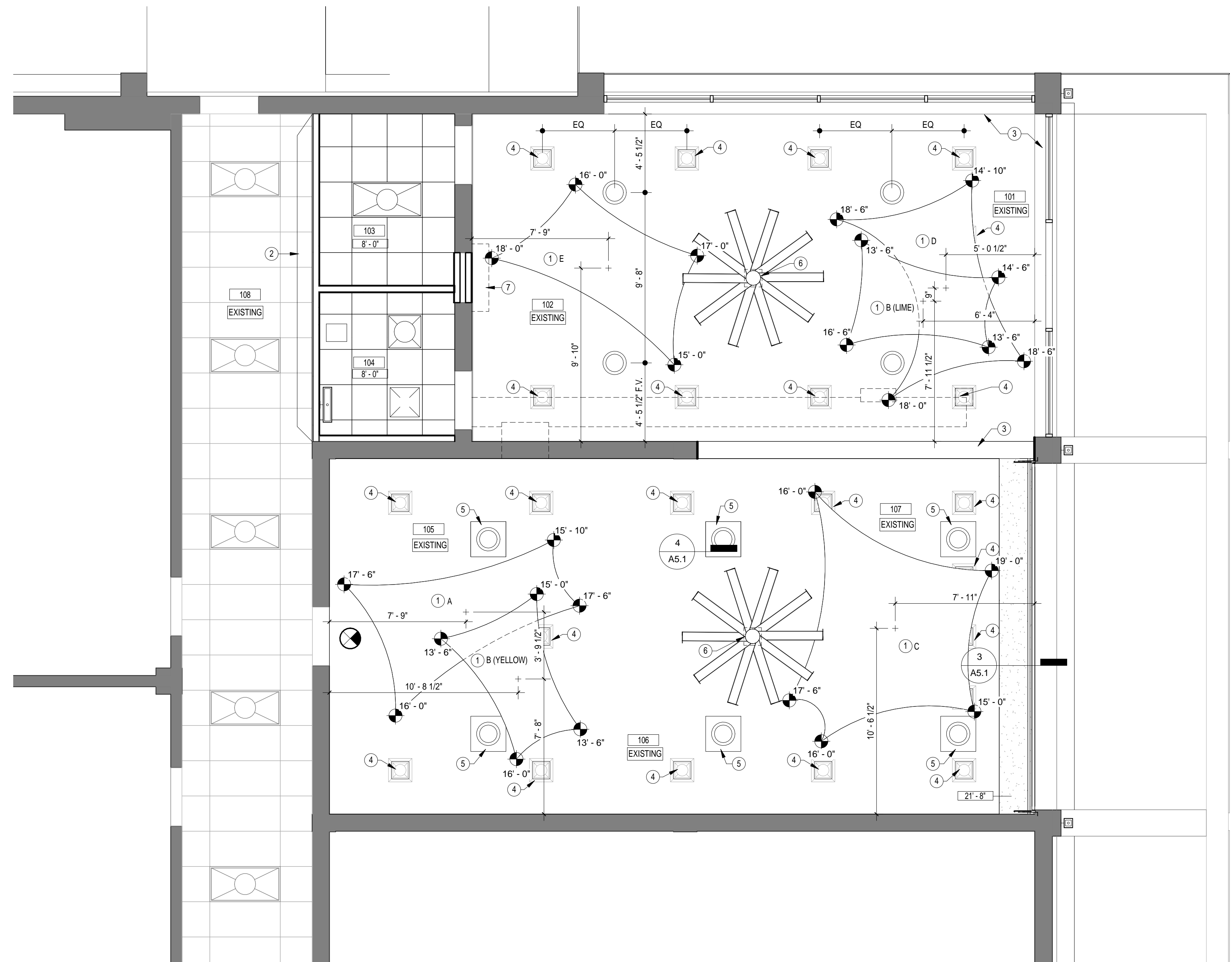
LEGEND - REFLECTED CEILING PLAN



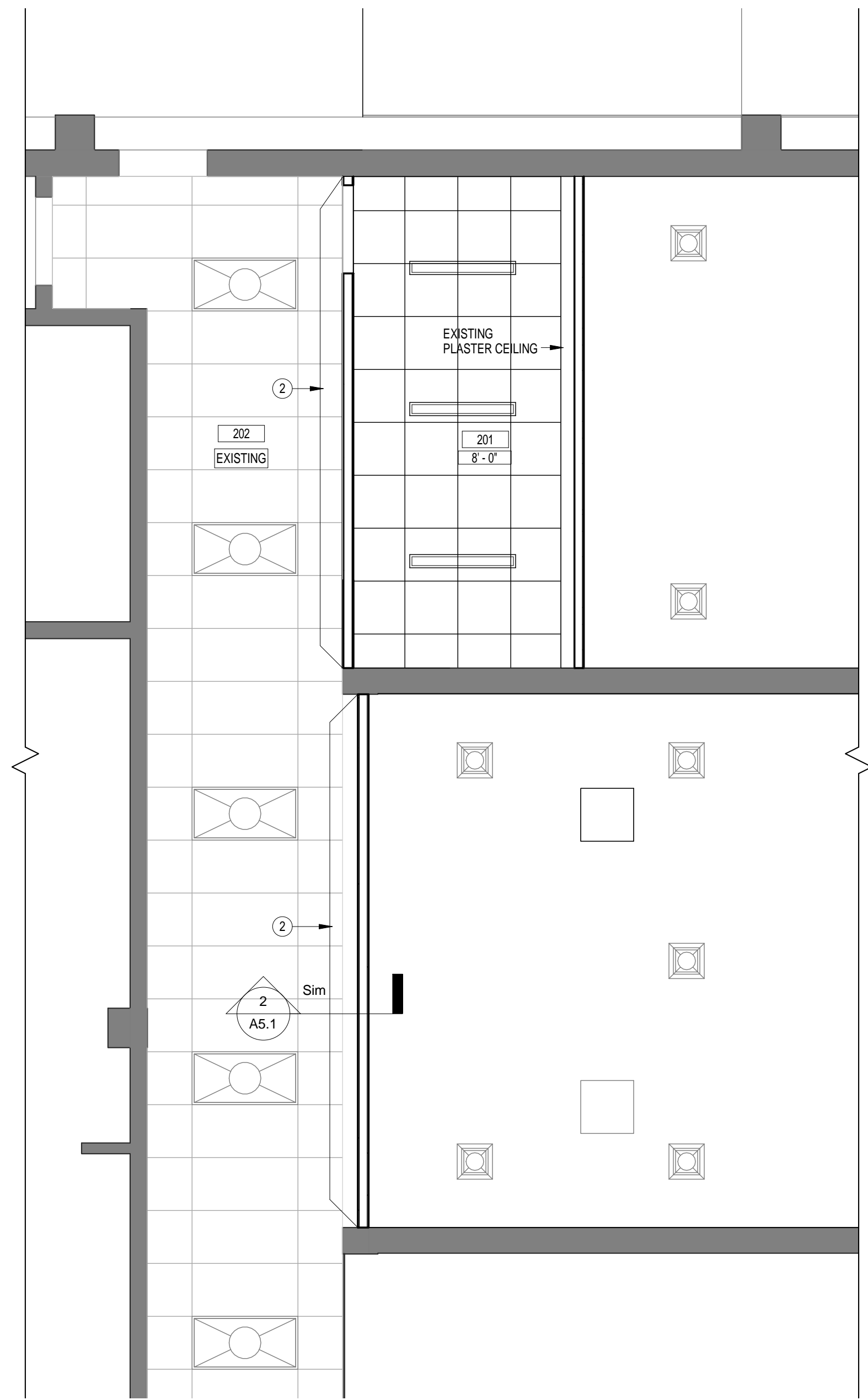
TENSILE FABRIC SAILS

KEY	MODEL NO.	COLOR
A	TZ-4812	YELLOW
B	TZ-488	YELLOW/LIME
C	F48C-1014	TEAL
D	FS4C-810	LIME
E	TZ-8126	TEAL

*JUXTAFORM OR APPROVED EQUAL



1 FIRST FLOOR REFLECTED CEILING PLAN
A2.1 1/4" = 1'-0" REFERENCED ON: A1.1

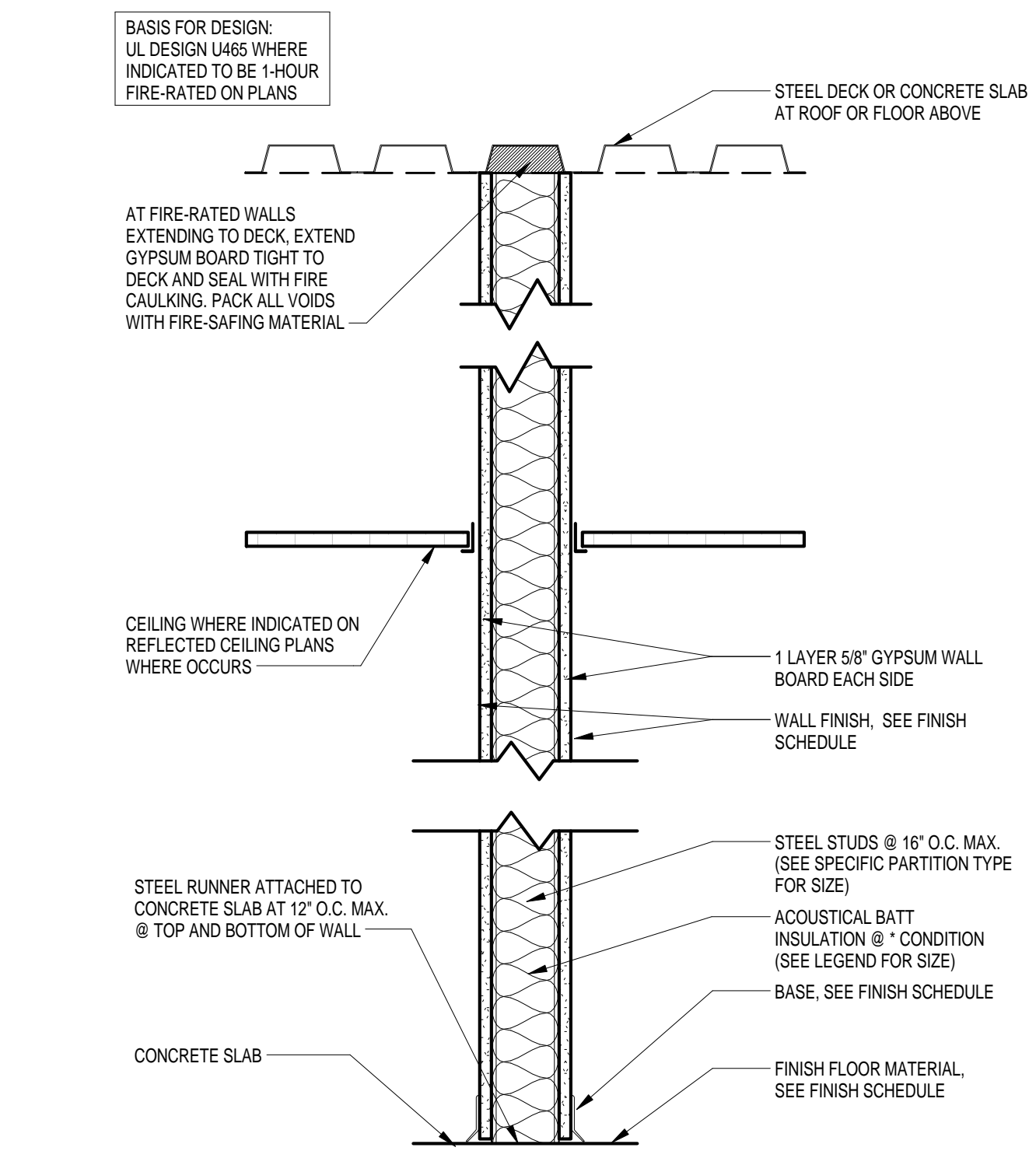


2 SECOND FLOOR REFLECTED CEILING PLAN
A2.1 1/4" = 1'-0" REFERENCED ON: A4.1

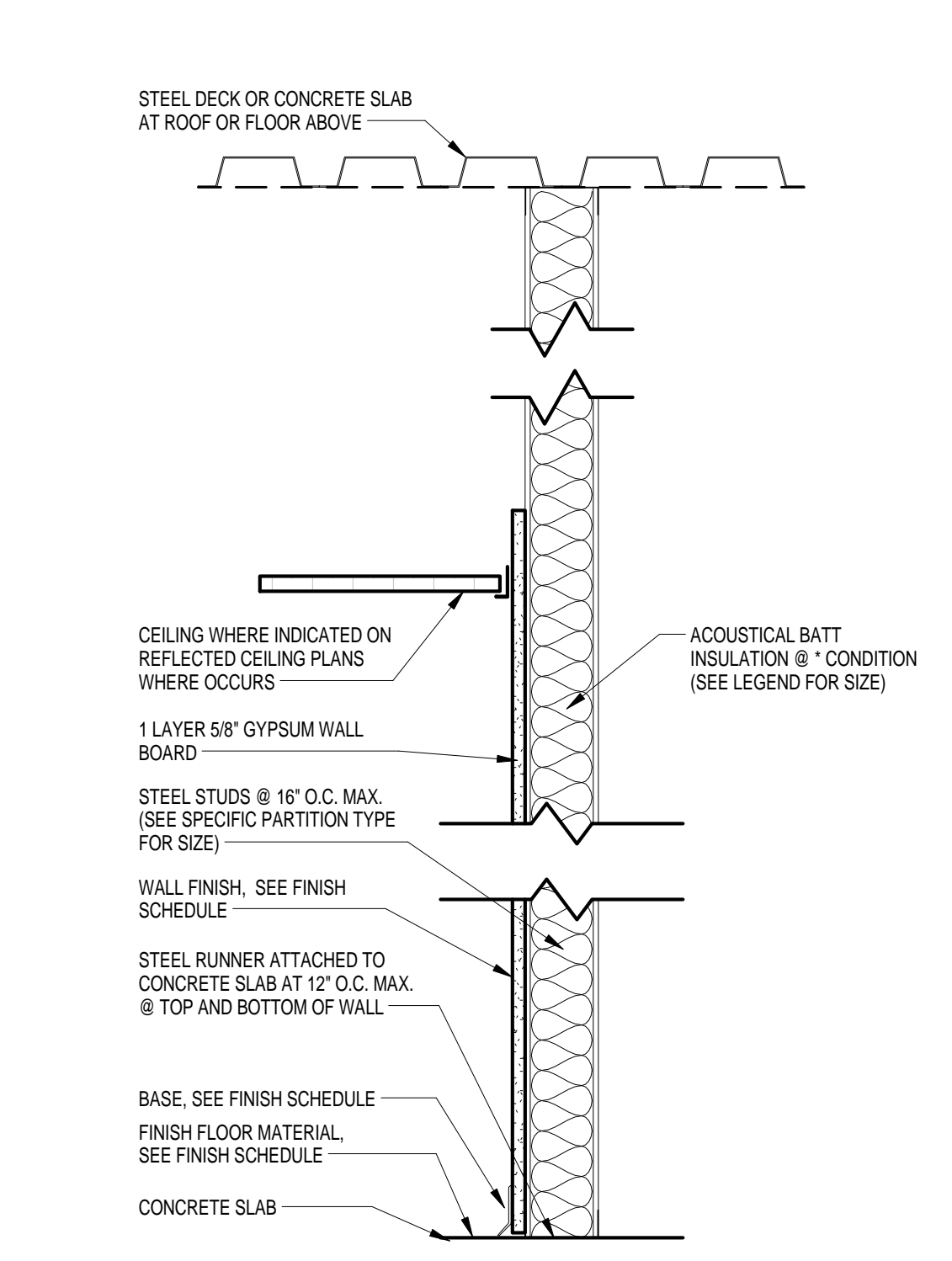
NO.	REVISIONS	DATE

DRAWN BY:	Aufuz	CHECKED BY:	Choke
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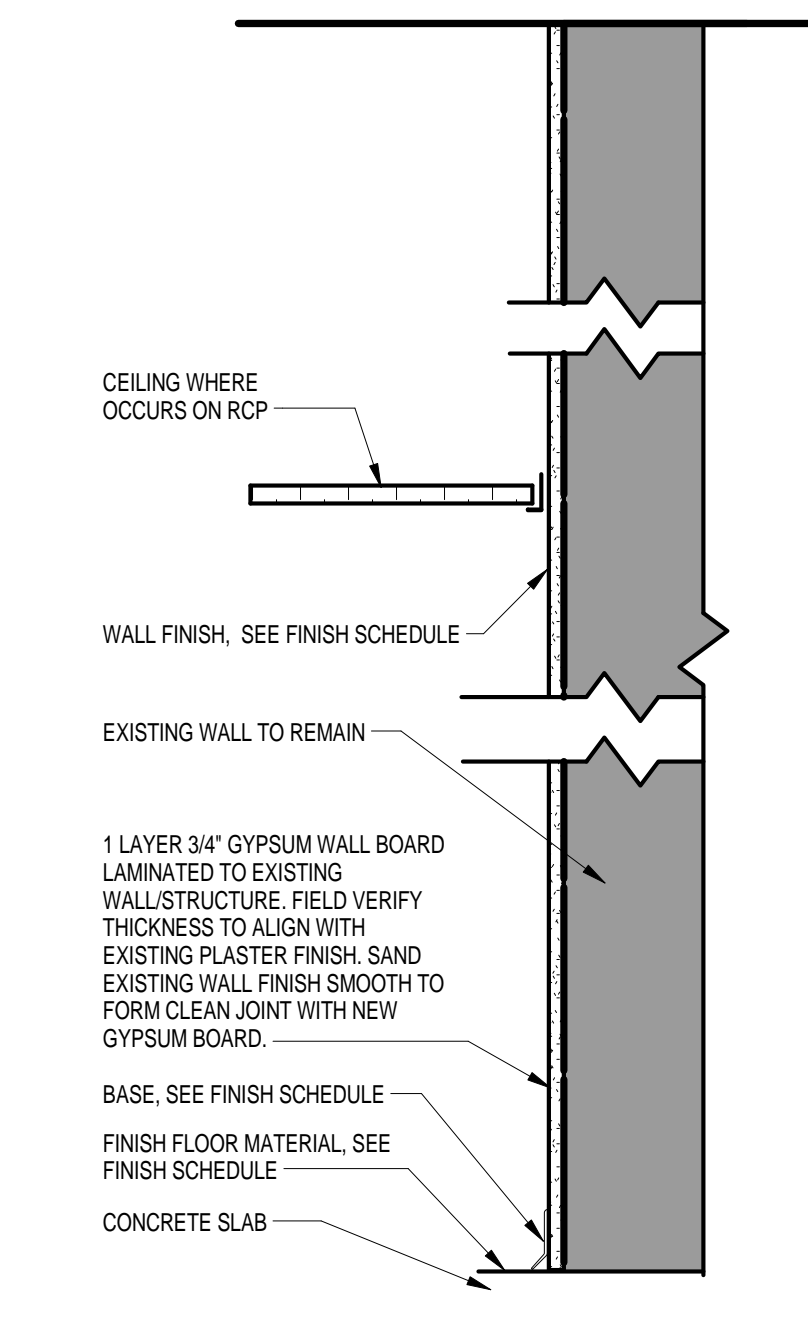
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M#B INTERIOR PARTITION
1 1/2" x 1'-0"



M#C INTERIOR PARTITION
1 1/2" x 1'-0"



F-1 INTERIOR PARTITION
1 1/2" x 1'-0"

MATERIAL (SEE CHART BELOW)	FINISH (SEE CHART BELOW)	CONSTRUCTION (SEE PARTITION SECTION)
SIZE (SEE CHART BELOW)	INSULATION DESIGNATION	
M1	1'-1 1/2" METAL STUD	
M2	2'-1 1/2" METAL STUD	
M3	3'-5 1/8" METAL STUD	
M4	4" METAL STUD	
M5	5" METAL STUD	
M6	6" METAL STUD	
M7	8" METAL STUD	
W2	2x2" WOOD STUD	
W4	2x4" WOOD STUD	
W6	2x6" WOOD STUD	
W8	2x8" WOOD STUD	
C4	4" CMU (3-5/8" NOM.)	
C6	6" CMU (7-5/8" NOM.)	
C12	12" CMU (11-5/8" NOM.)	
S2	2" C-H STUD (SHAFT WALL)	

LEGEND - PARTITION TYPES

PROJECT TITLE
CONVERT THE SQUASH/RBALL CT INTO BIKE SHOP

1300 Walnut Street
Columbia, SC 29208
Project No.: HZ7-Z134

NO.	REVISIONS	DATE

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DRAWING TITLE
PARTITION TYPES

PROJECT NO. U071.14
DATE 06.07.14

DRAWING NO.
A3.1

DATE
REVISIONS
NO. TABLE

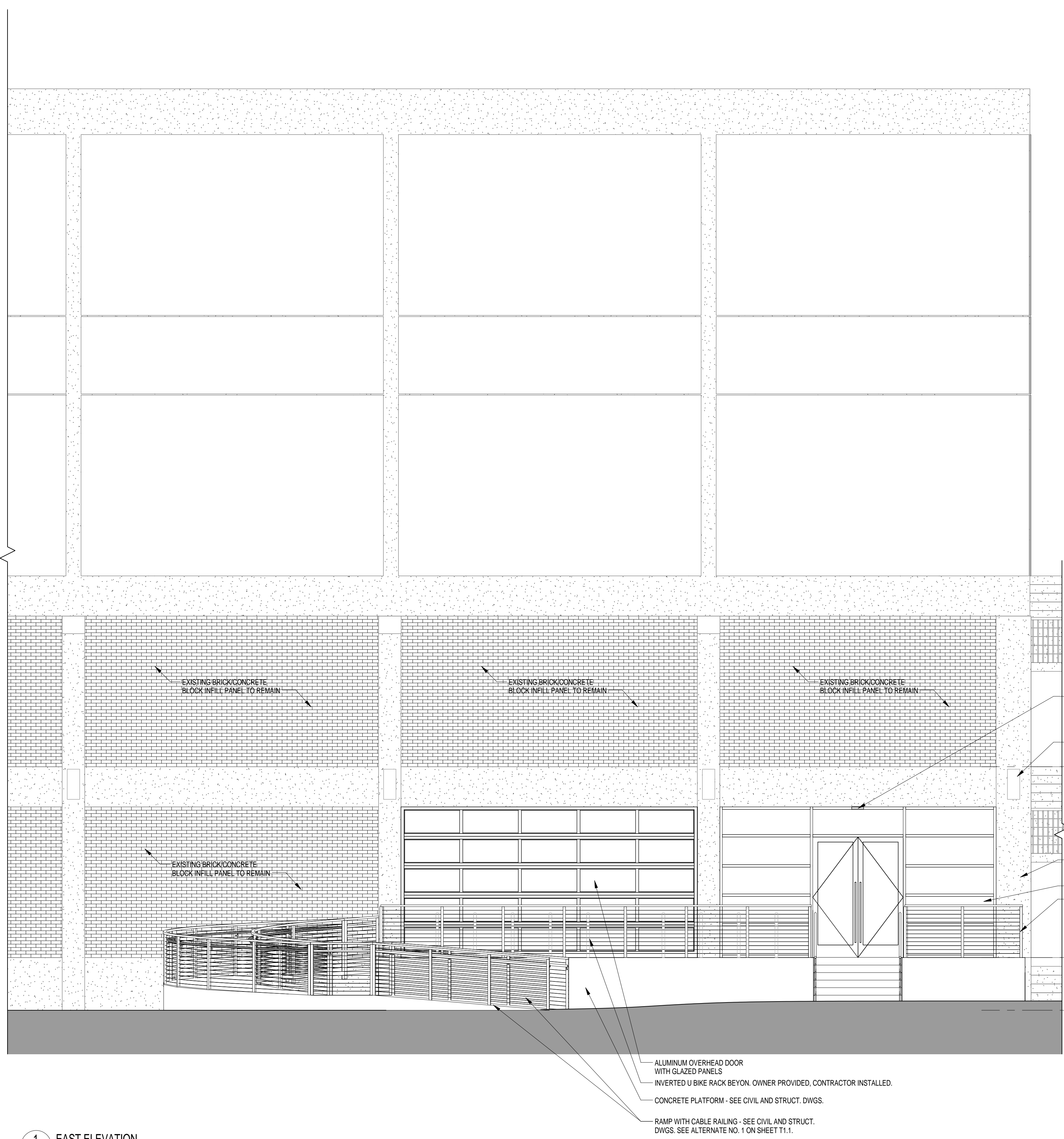
PROJECT TITLE
CONVERT THE SQUASH/BALL CT INTO
BIKE SHOP
1300 Walnut Street
Columbia, SC 29208
Project No.: HZ-2104

NO.	DATE	REVISIONS

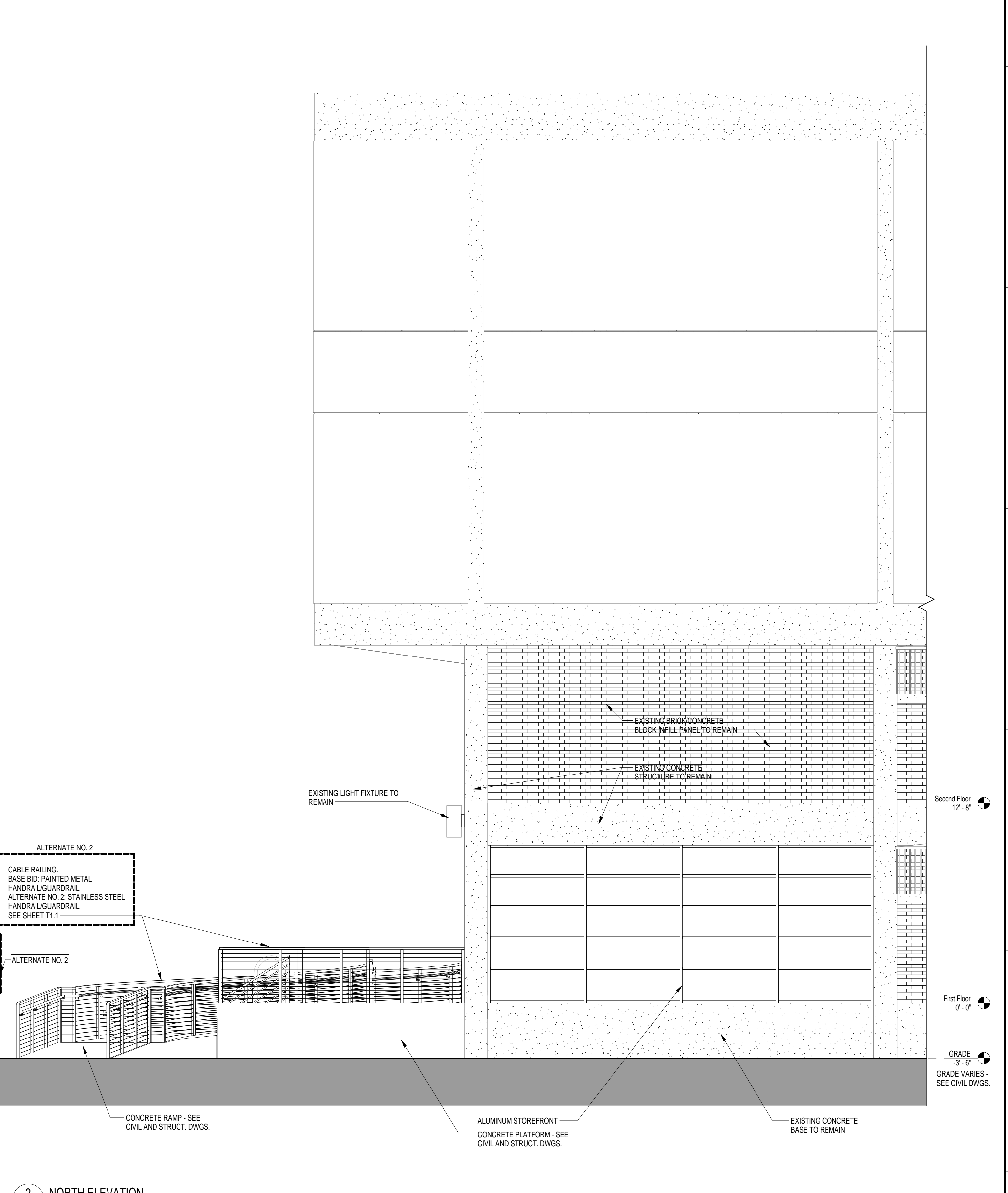
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DRAWING TITLE
BUILDING ELEVATIONS

PROJECT NO. 1300 Walnut Street
DATE 06/07/14
DRAWING NO. A4.1



1 EAST ELEVATION
A4.1 1/4" = 1'-0" REFERENCED ON: A1.1



2 NORTH ELEVATION
A4.1 1/4" = 1'-0" REFERENCED ON: A1.1

AE SEAL
AE SEAL

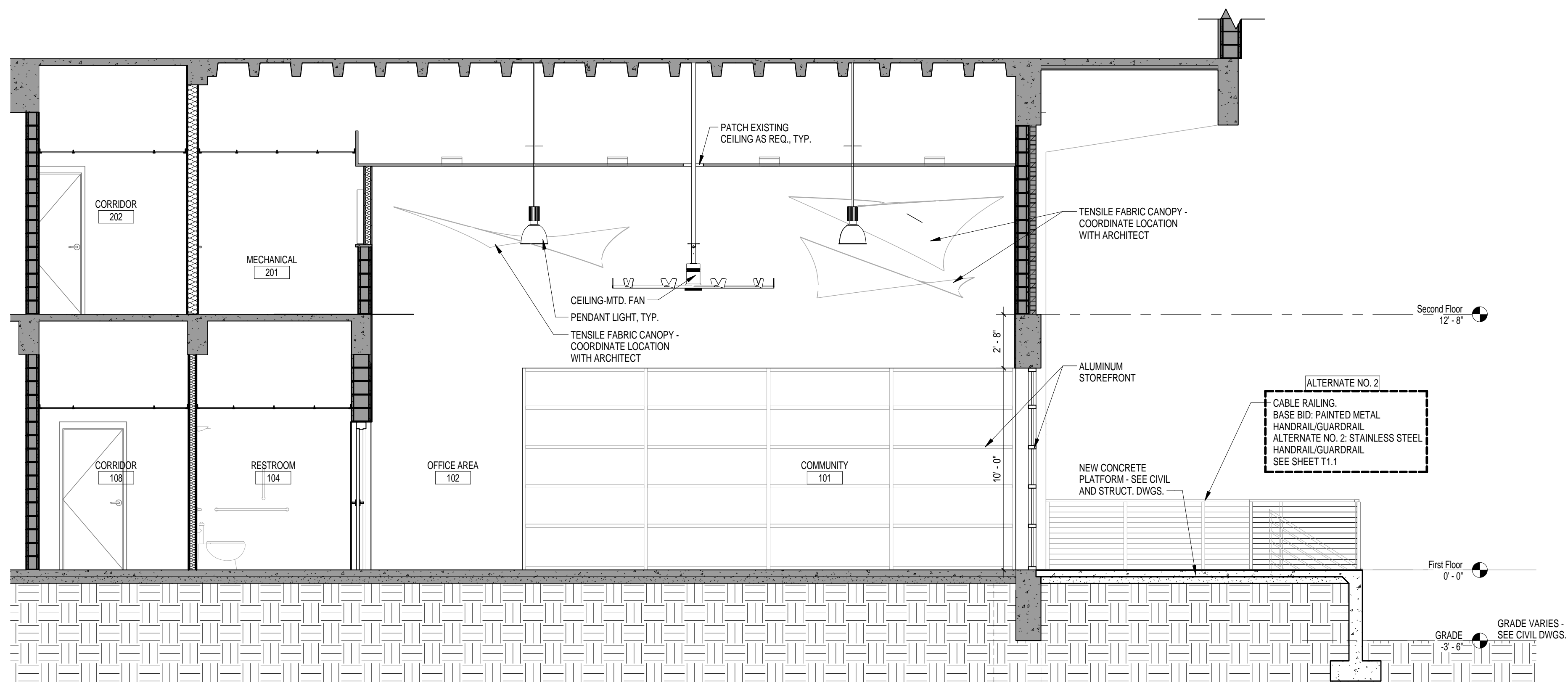
PROJECT TITLE
CONVERT THE SQUASH/RBALL CT INTO BIKE SHOP
 1300 Wheat Street
 Columbia, SC 29208
 Project No.: HZ-27-134

NO.	REVISIONS	DATE

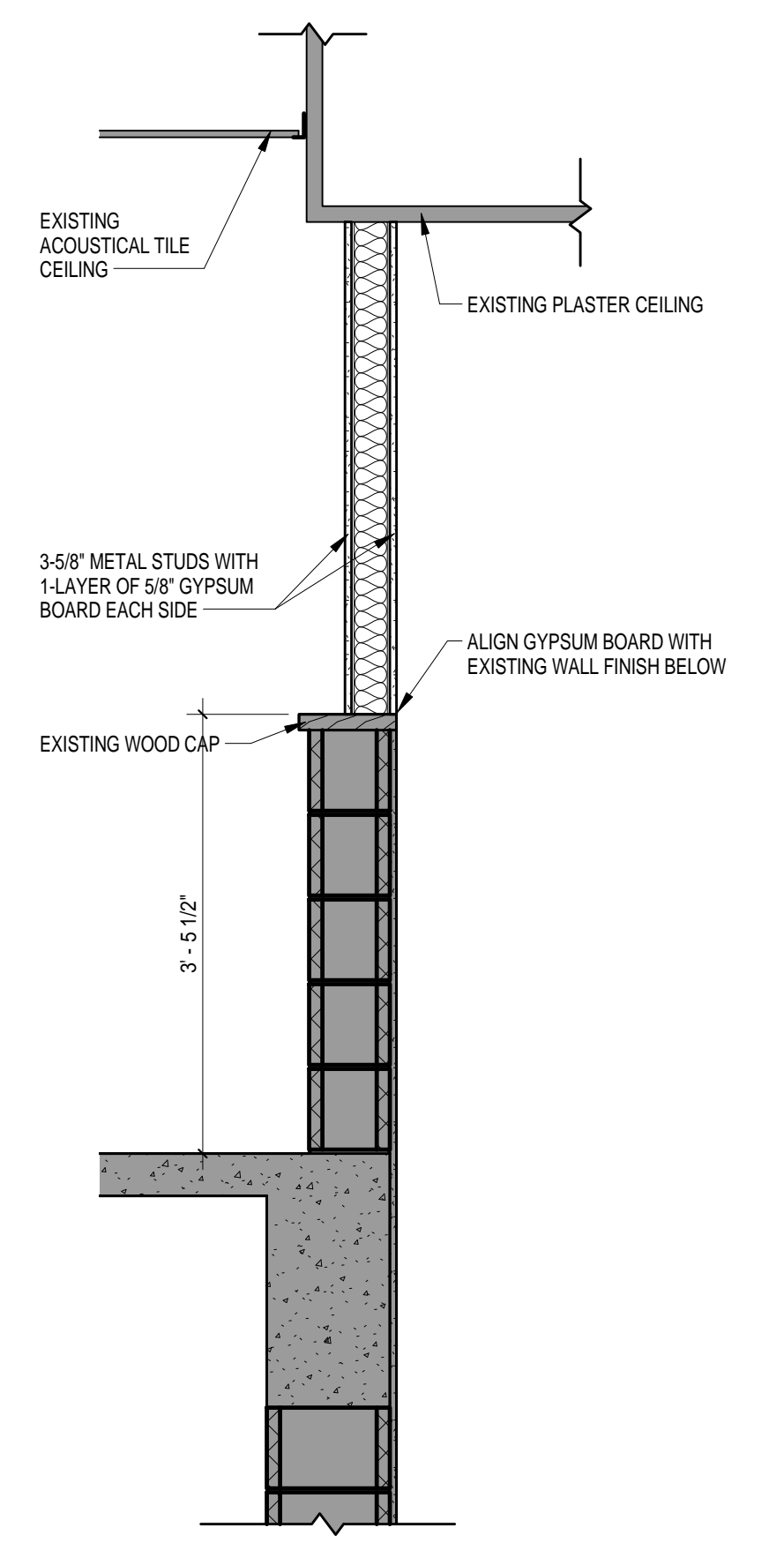
DRAWN BY: AUTHZ
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DRAWING TITLE
BUILDING SECTION, WALL SECTIONS, AND CEILING DETAILS

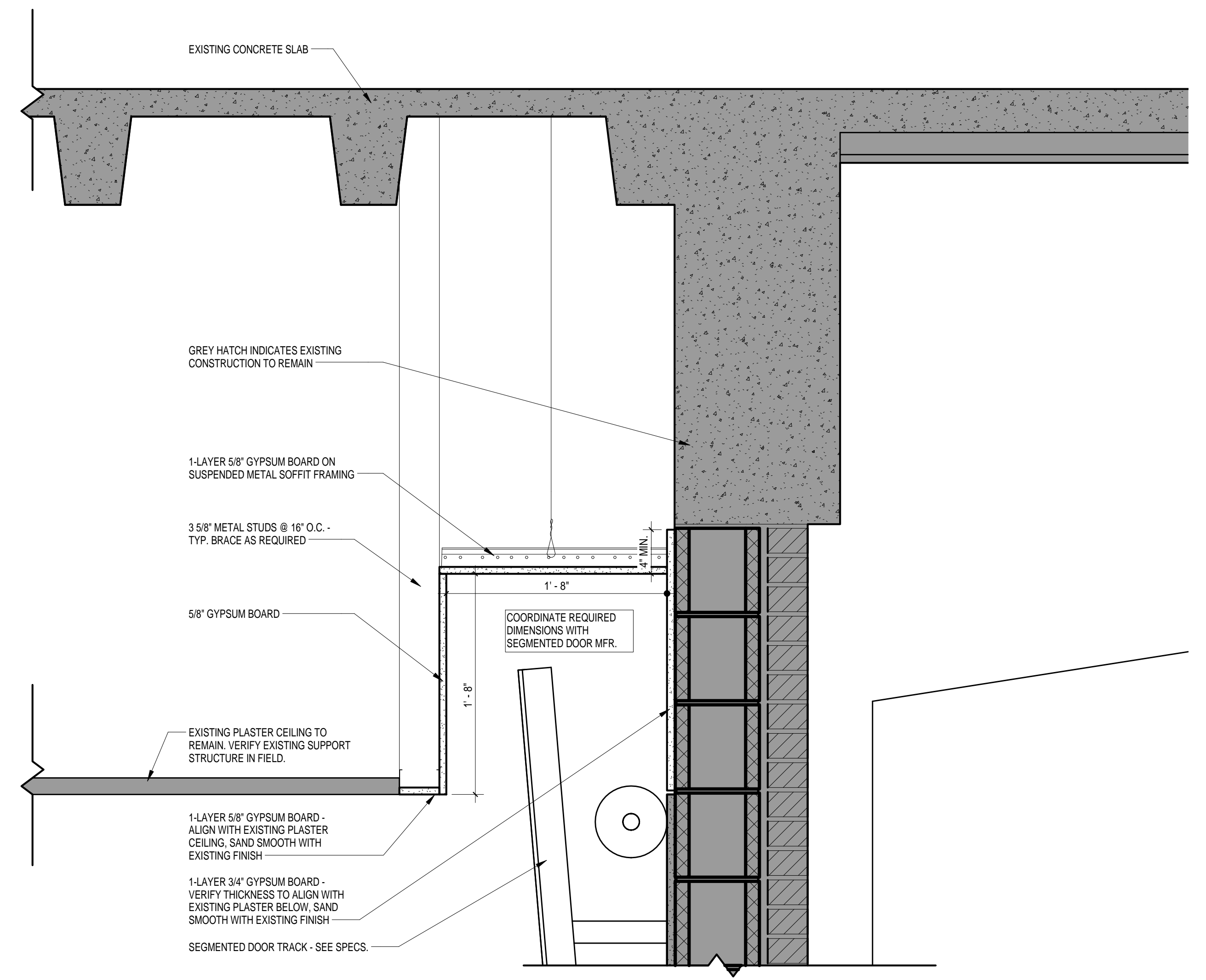
PROJECT NO. 1300 WHEAT ST
DATE 06.07.14
DRAWING NO.
A5.1



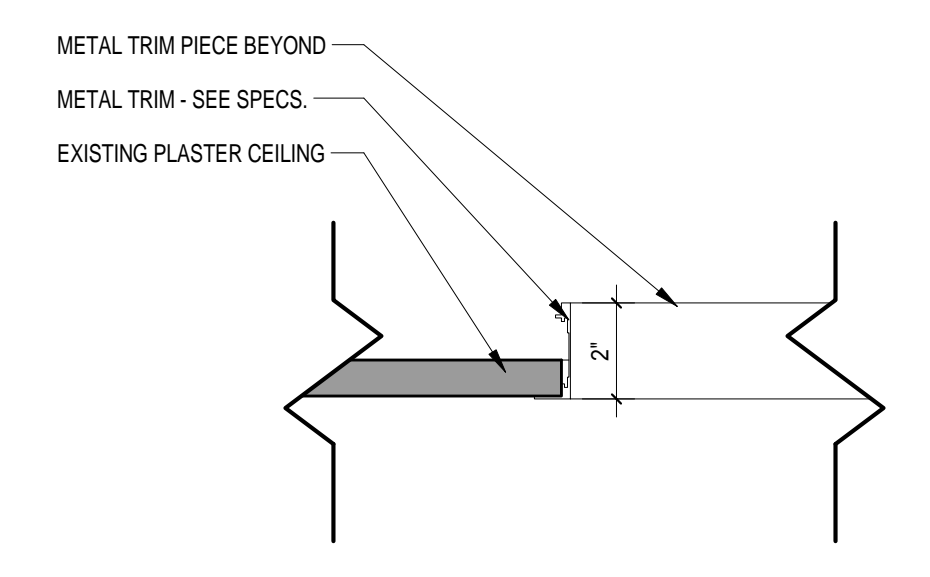
1 BUILDING SECTION
 A5.1 1/4" = 1'-0"
 REFERENCED ON: A1.1



2 WALL SECTION
 A5.1 3/4" = 1'-0"
 REFERENCED ON: A1.2



3 CEILING DETAIL
 A5.1 1/2" = 1'-0"
 REFERENCED ON: A2.1



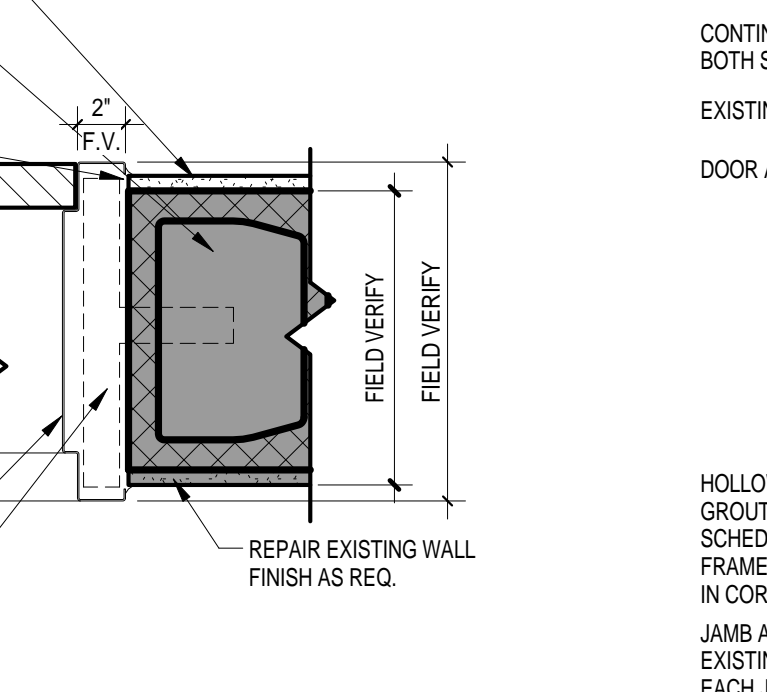
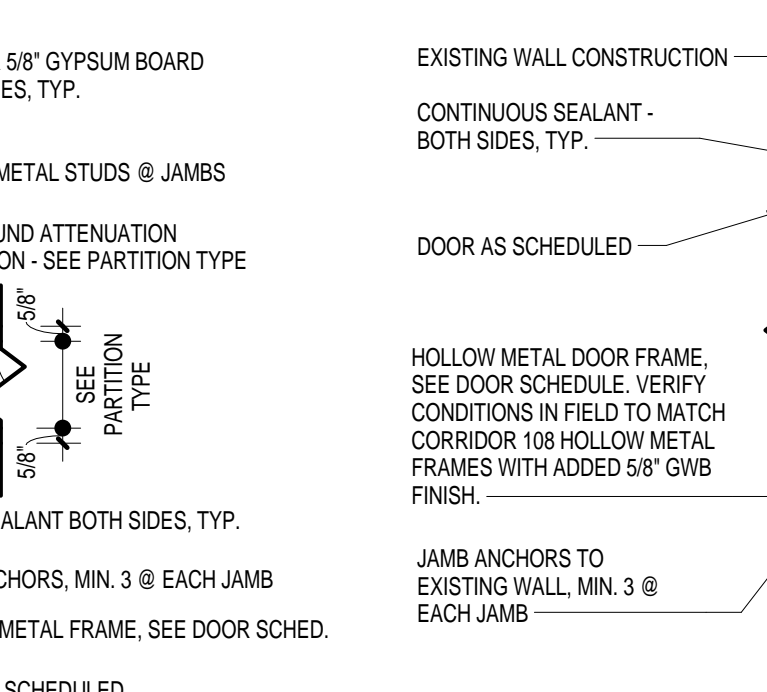
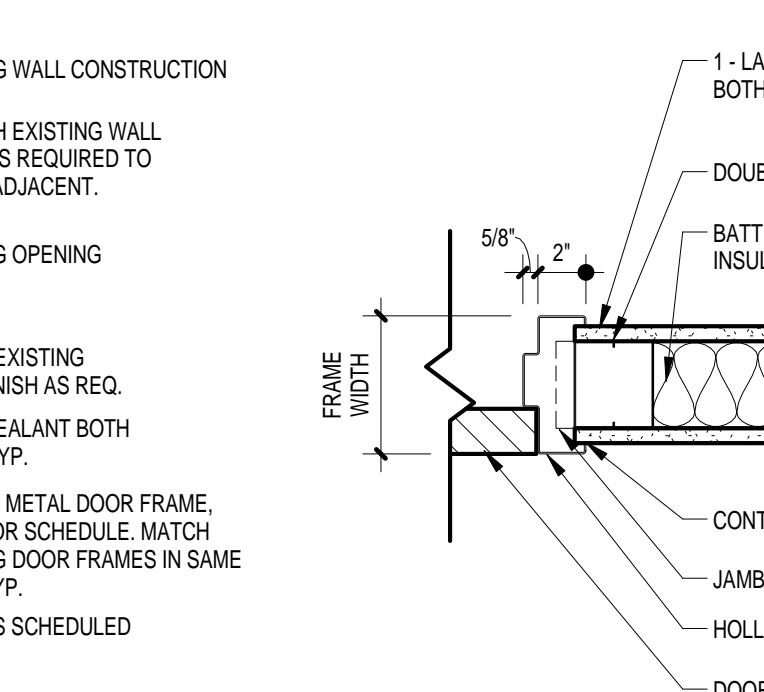
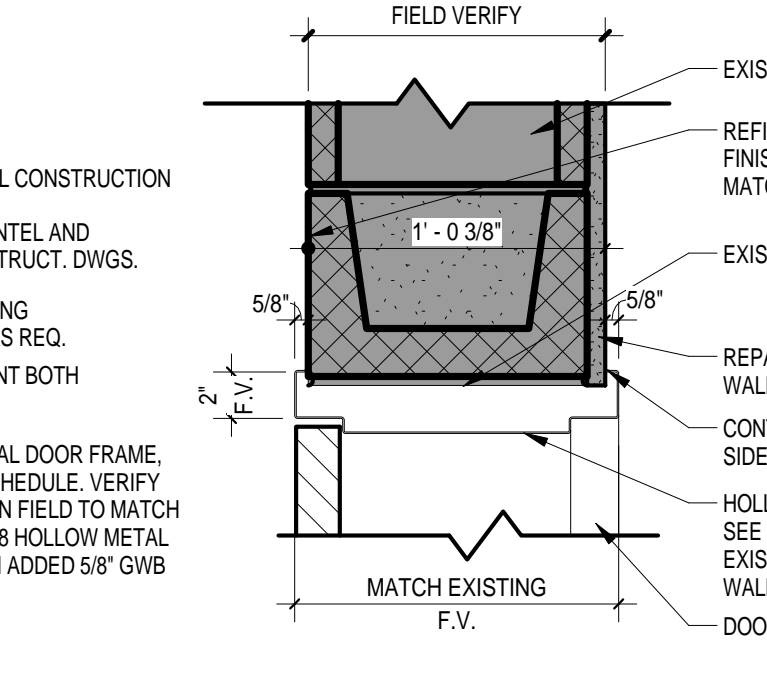
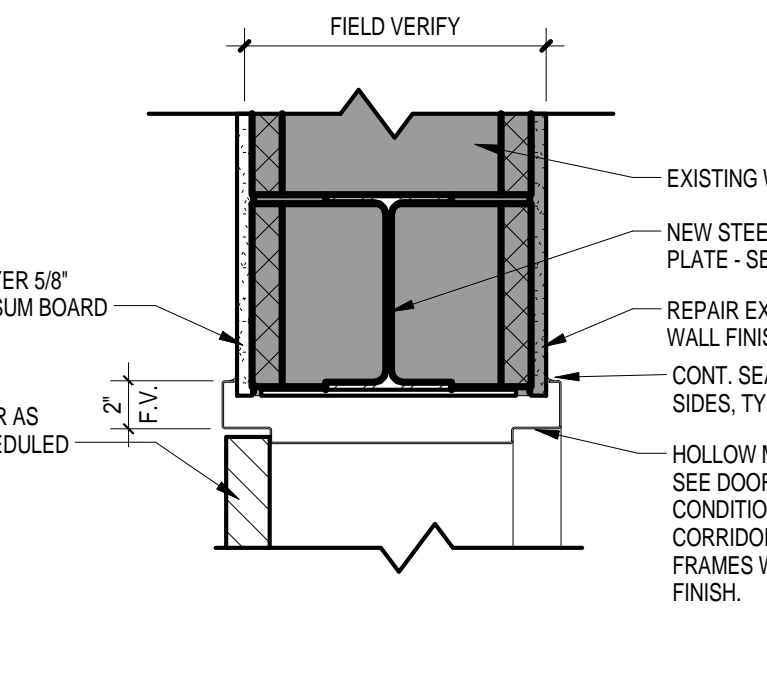
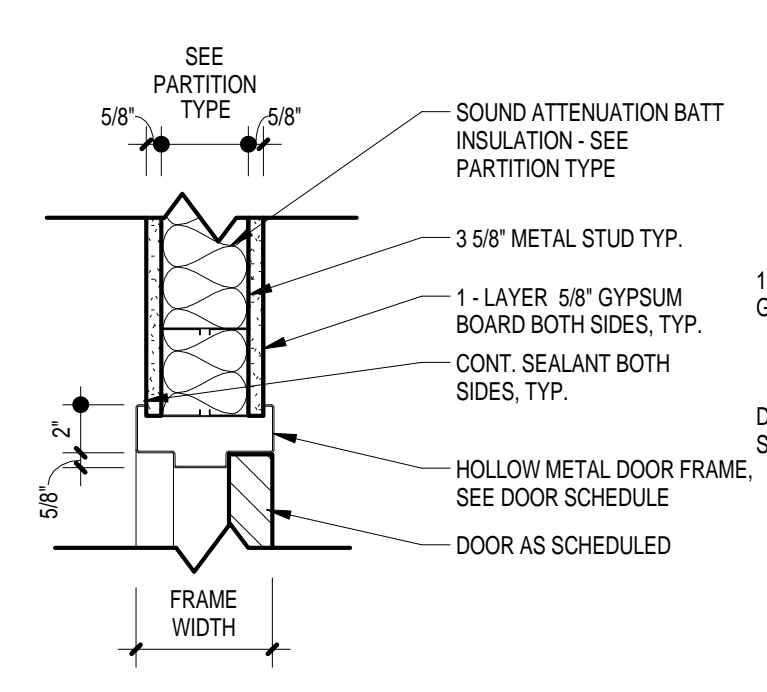
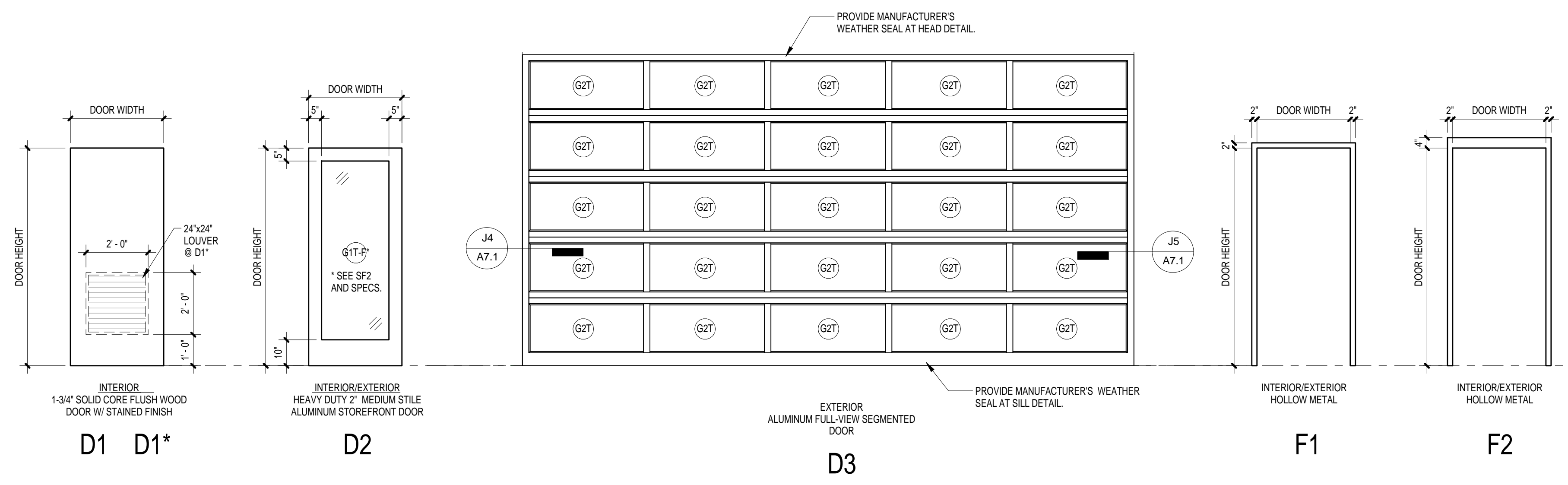
4 CEILING DETAIL AT EXISTING OPENINGS
 A5.1 3" = 1'-0"
 REFERENCED ON: A2.1

DOOR SCHEDULE - FIRST FLOOR									
Mark	WIDTH	HEIGHT	DOOR TYPE	FRAME TYPE	HEAD	JAMB	SILL	RATING	REMARKS
101A	6'-0"	8'-0"	D2	SF2					1,2,3,4
103A	3'-0"	7'-0"	D1	F2	H2	J2			
104A	3'-0"	7'-0"	D1	F2	H2	J2			
107A	19'-8"	10'-0"	D3	--		J4, J5			
107B	3'-0"	7'-0"	D1	F2	H3	J3			1,2

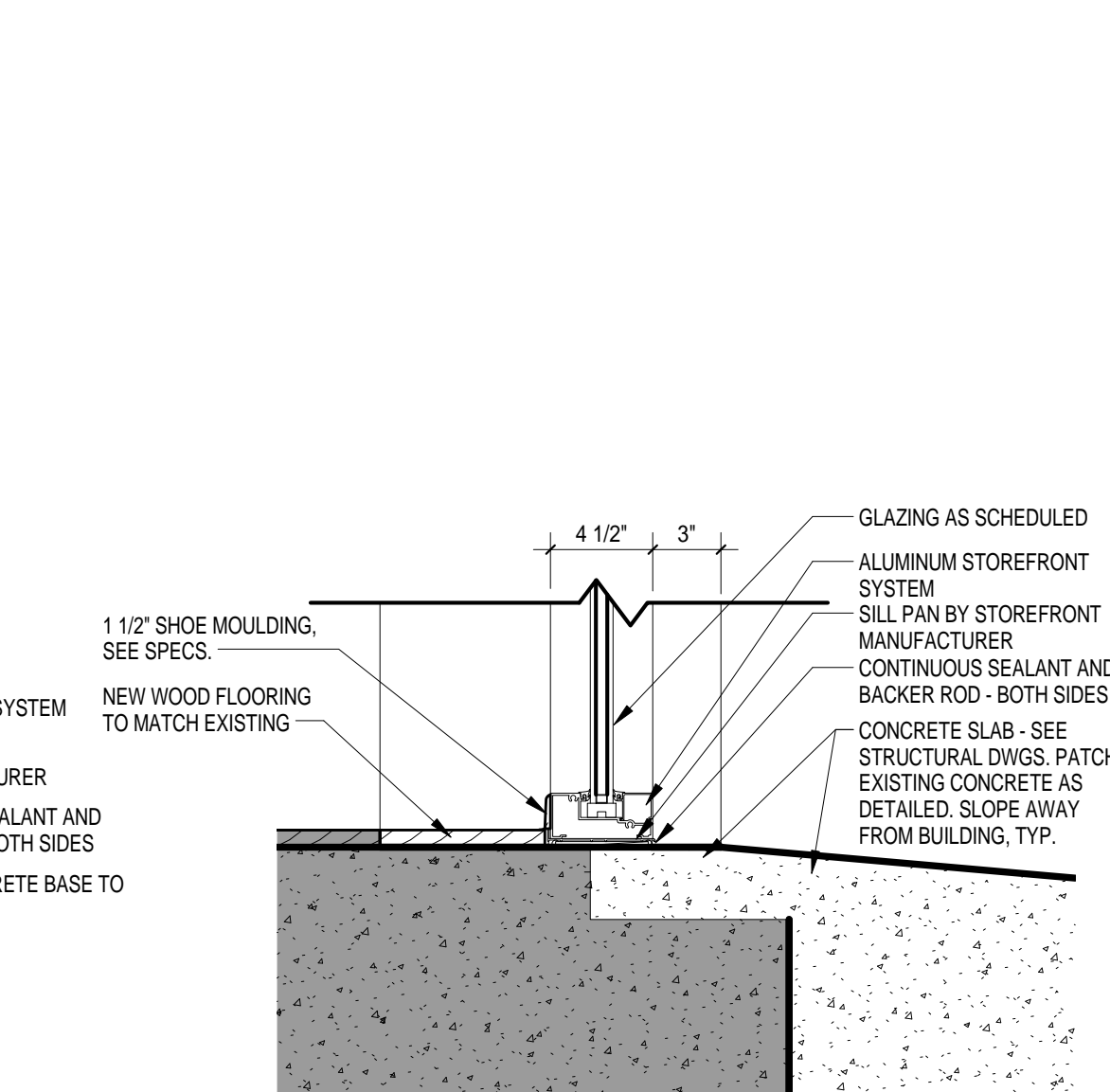
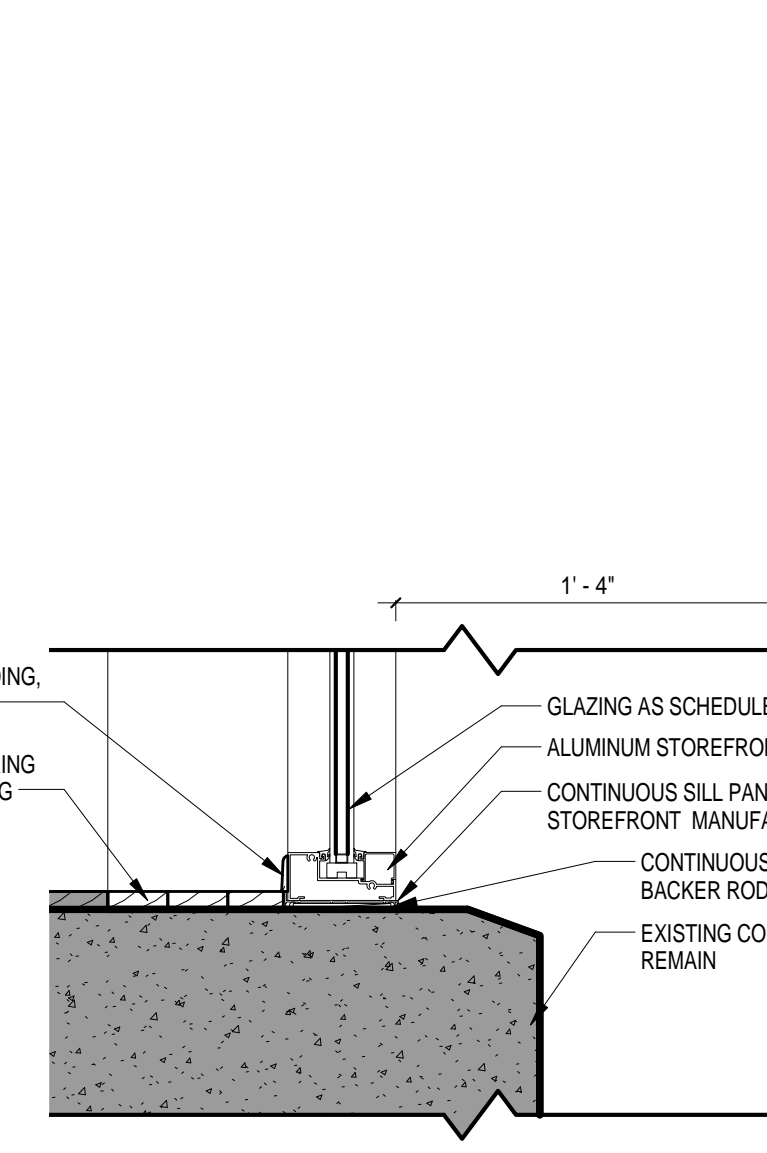
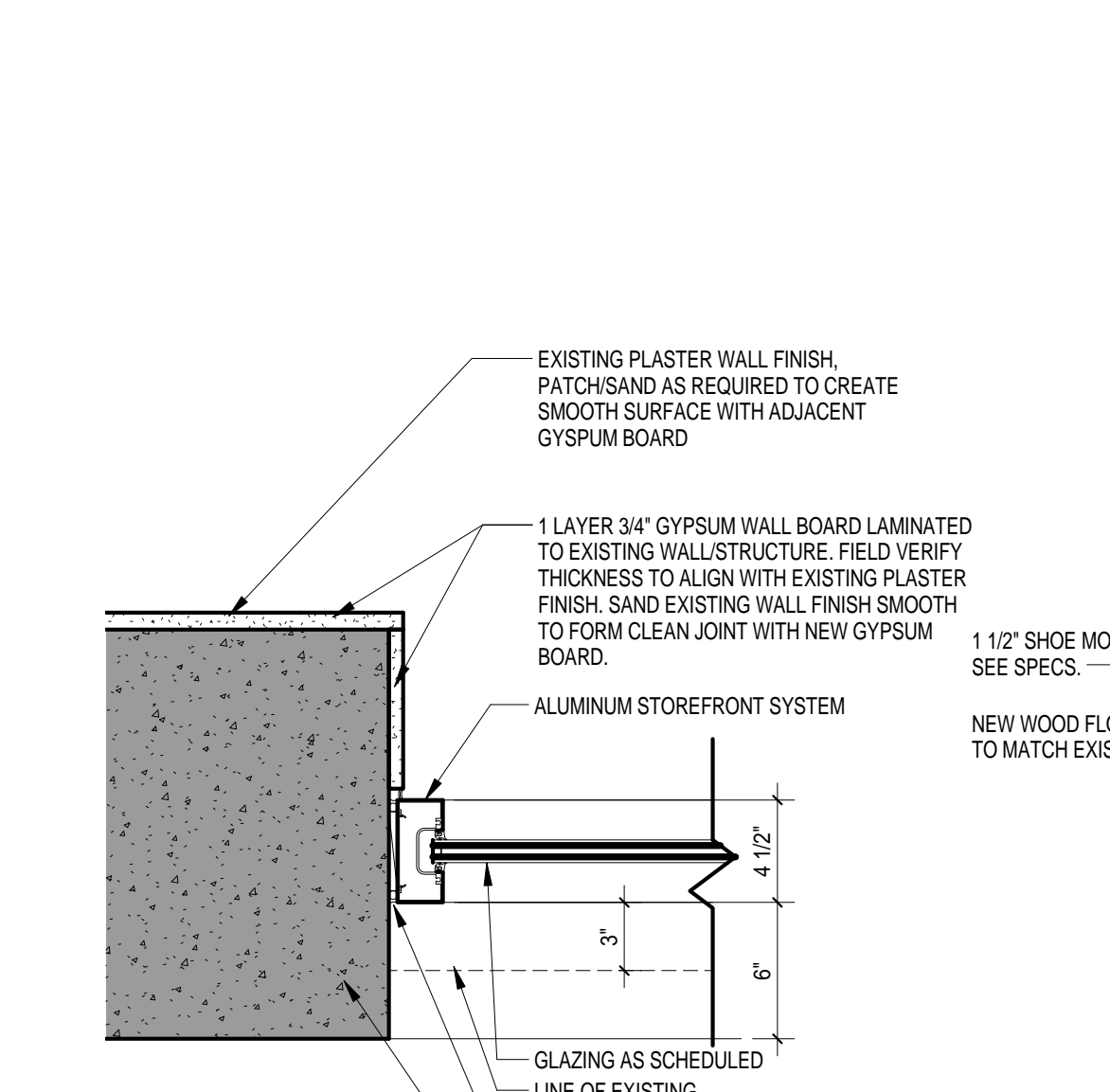
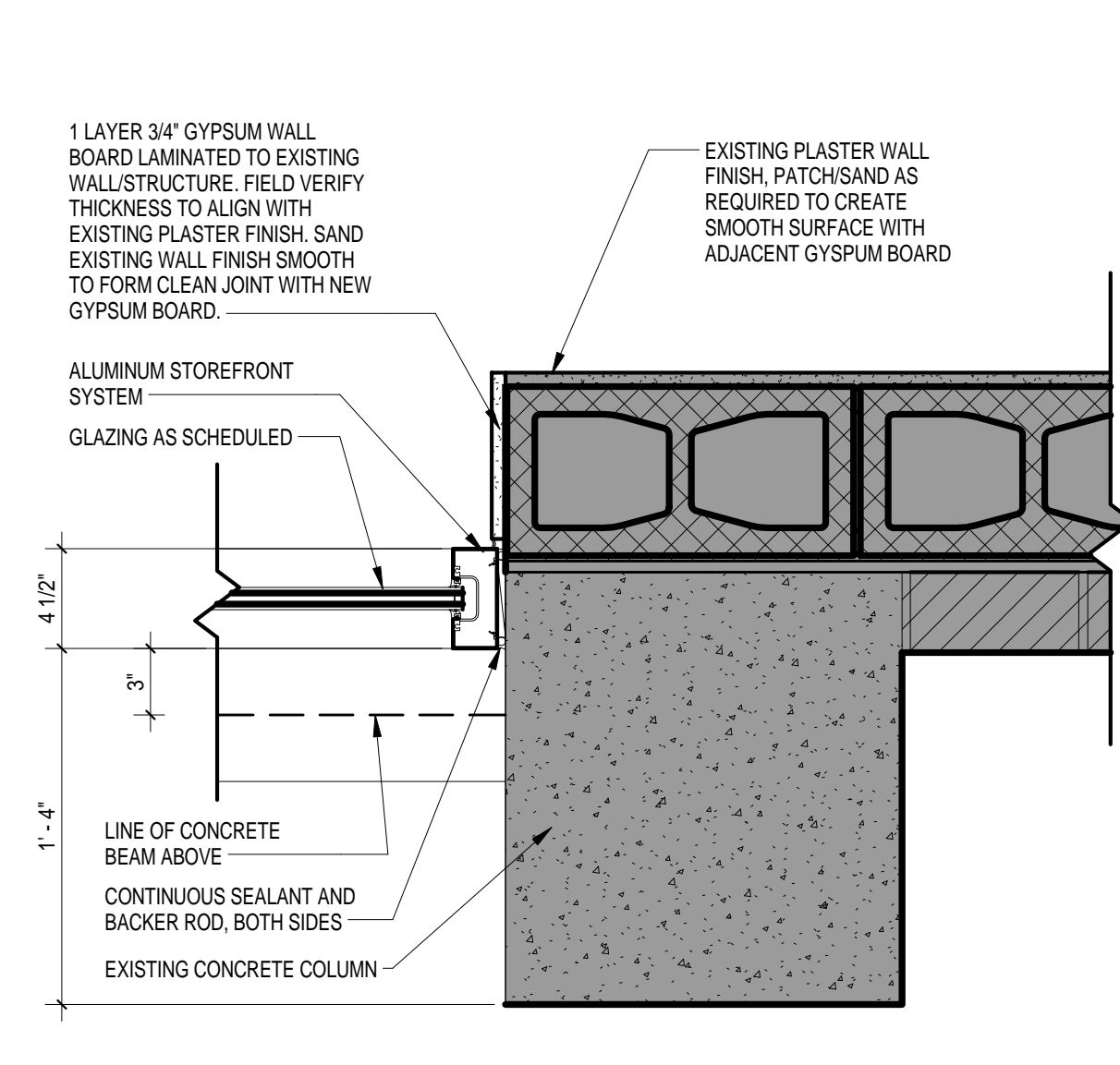
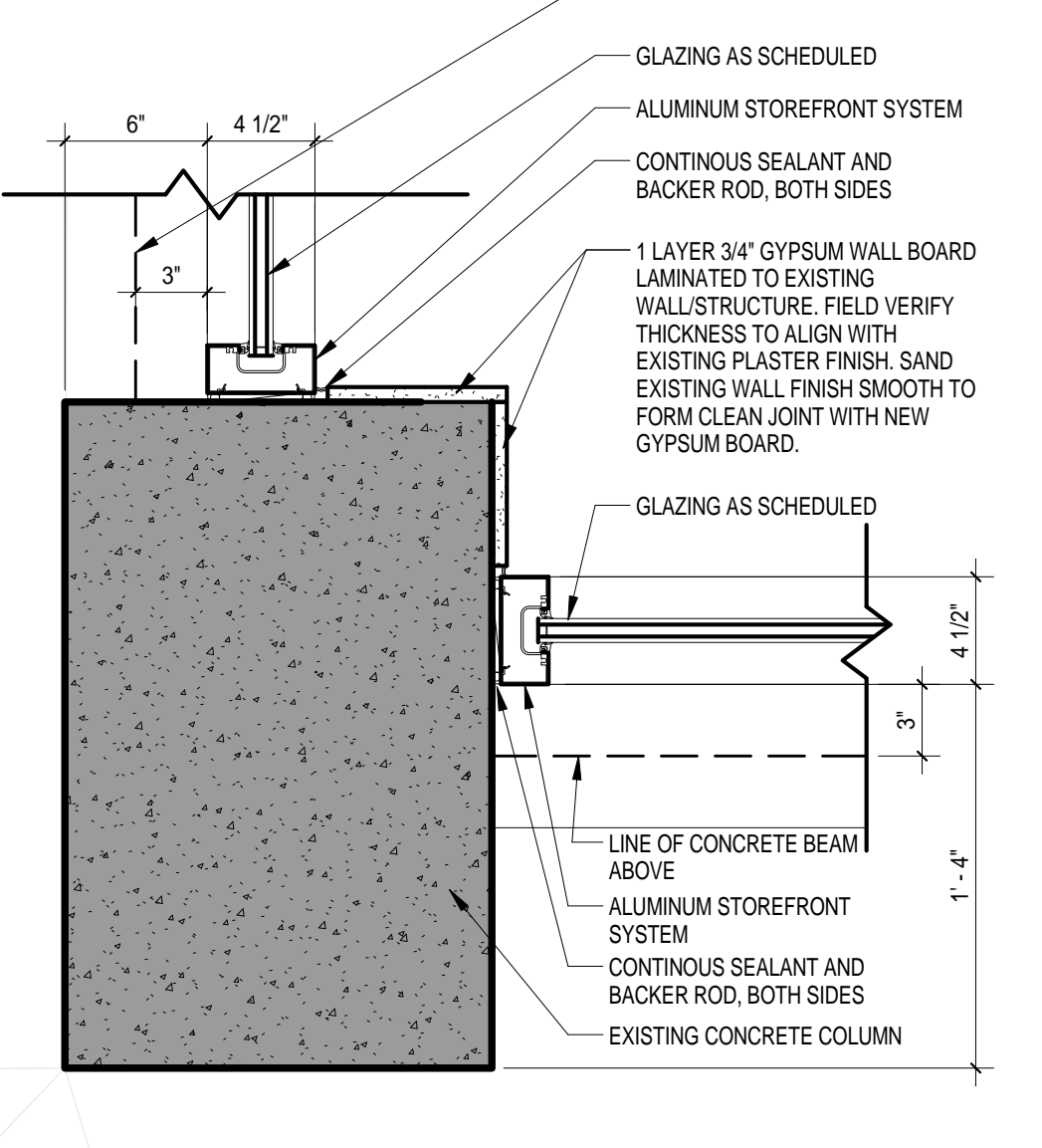
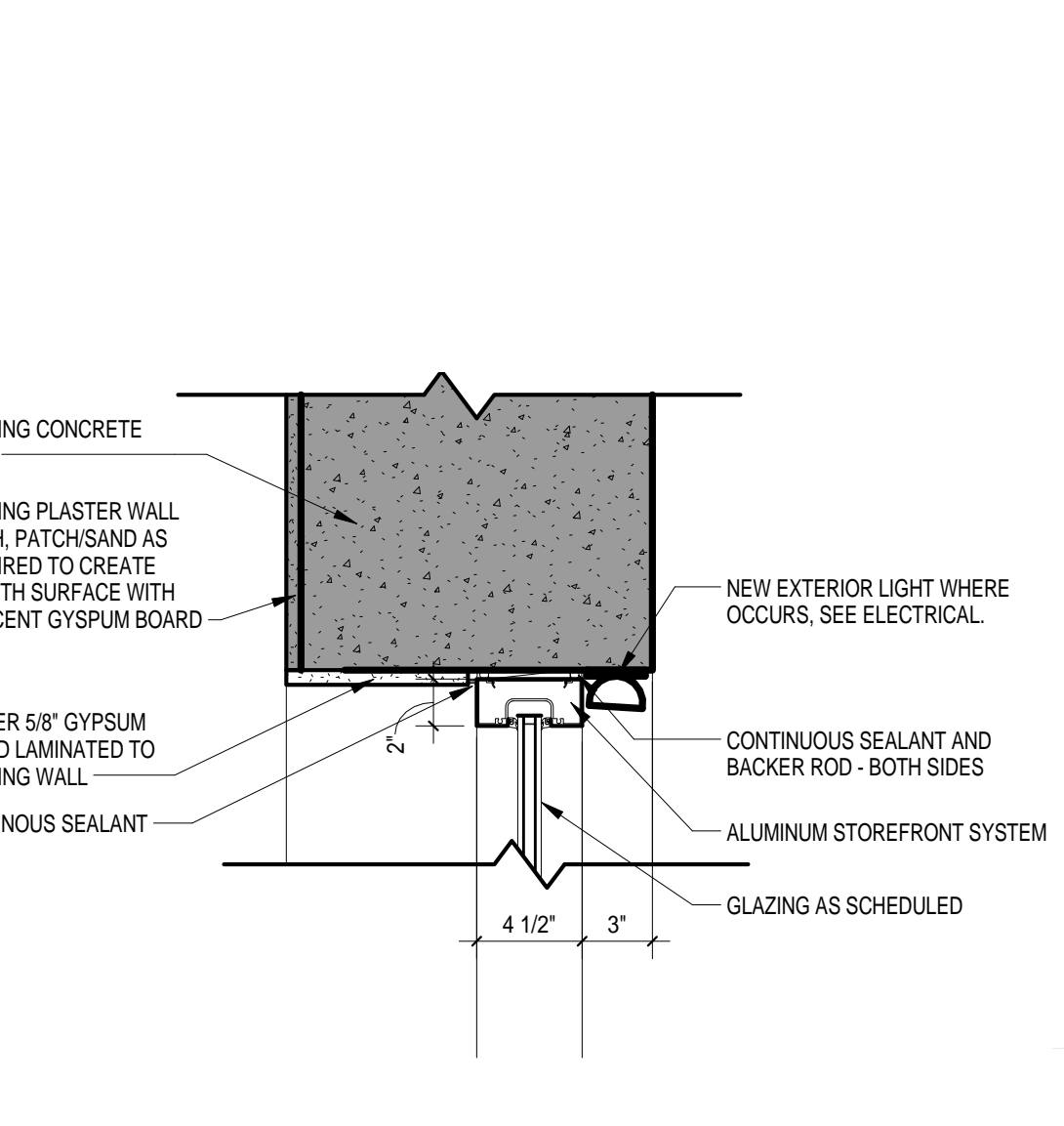
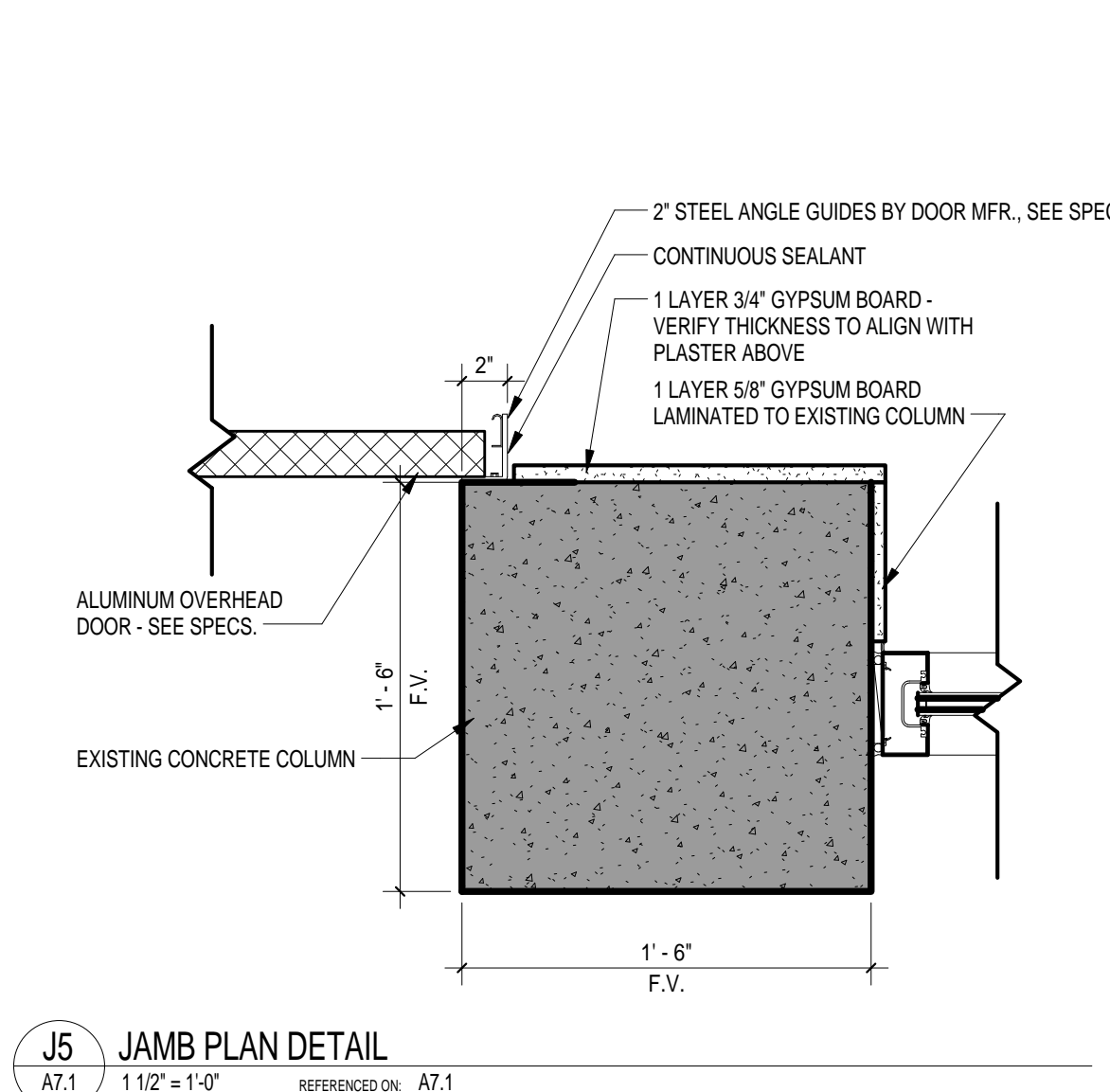
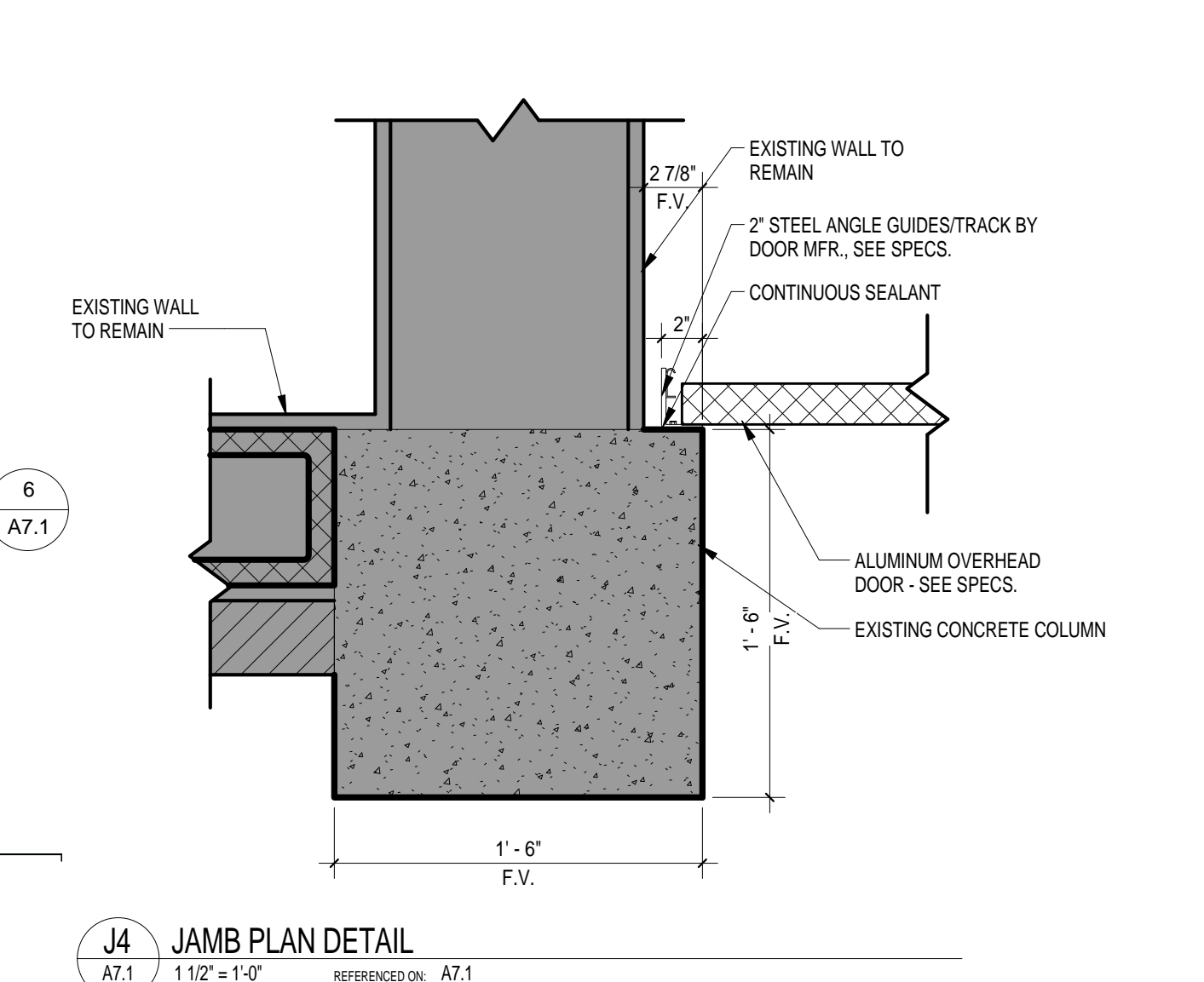
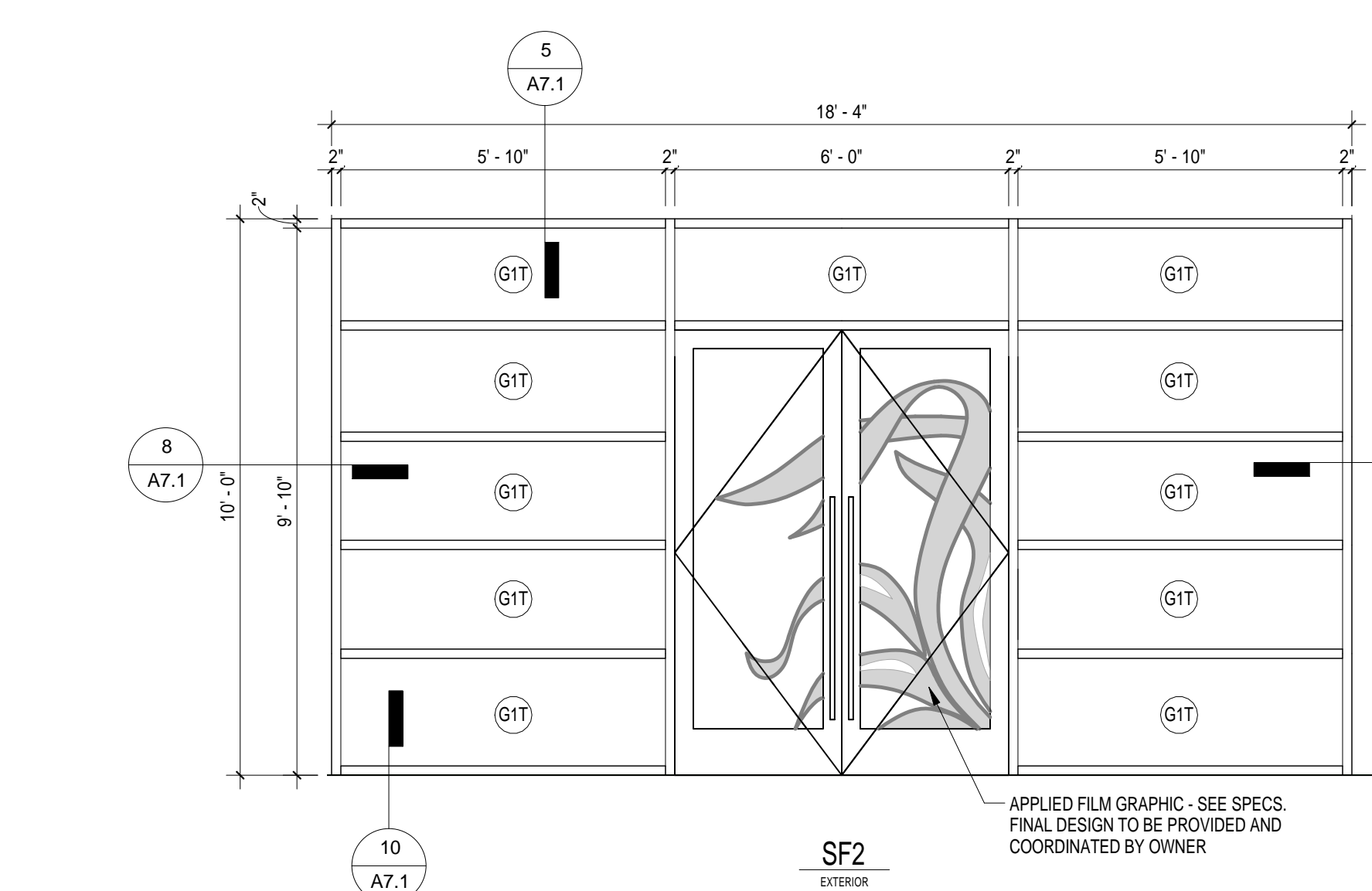
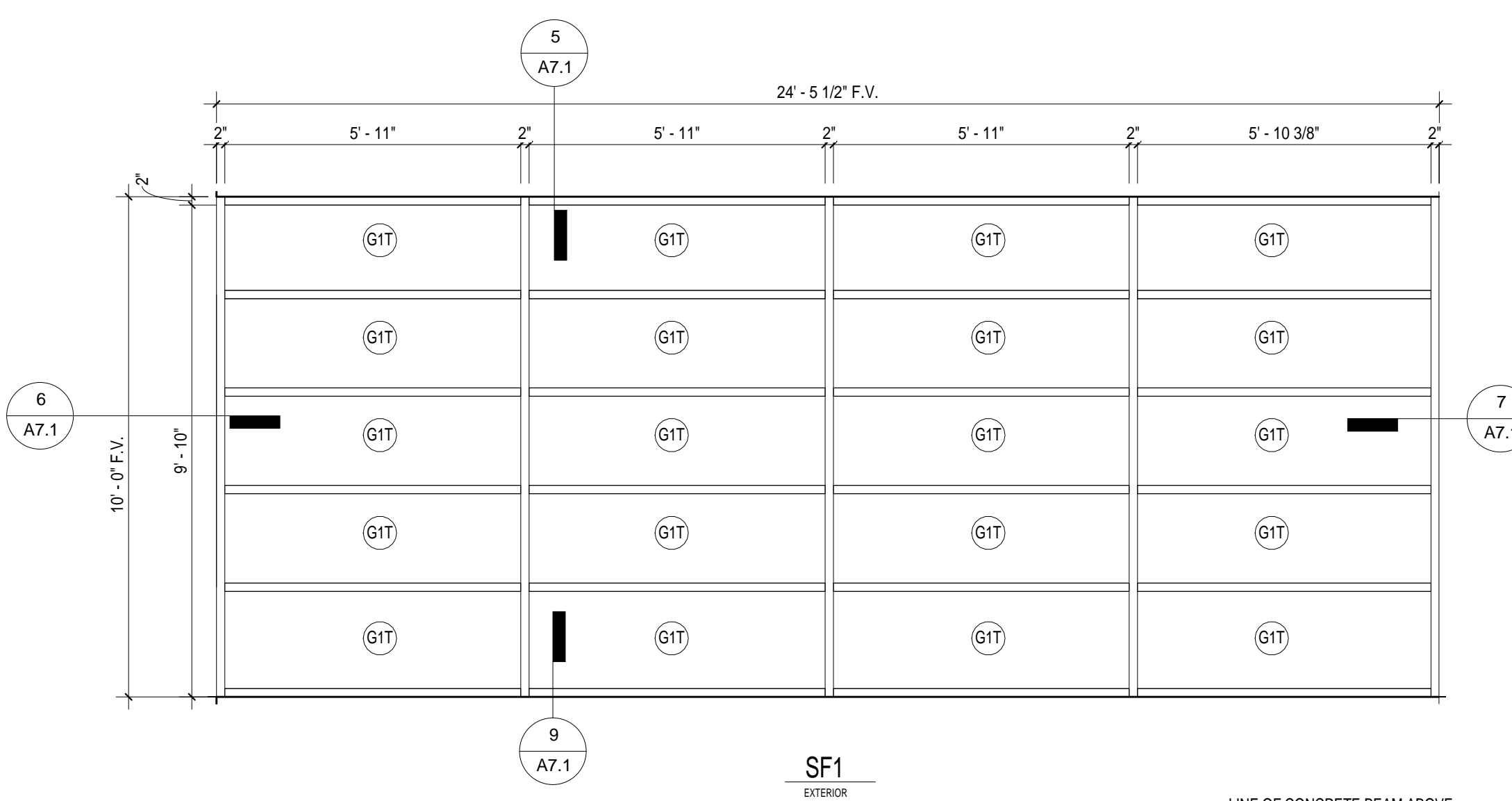
DOOR SCHEDULE - SECOND FLOOR									
Mark	WIDTH	HEIGHT	DOOR TYPE	FRAME TYPE	HEAD	JAMB	SILL	RATING	REMARKS
201A	3'-0"	7'-0"	D1	F1	H1	J1		0	

DOOR SCHEDULE REMARKS

- DOOR TO RECEIVE ELECTRIC POWERED PROXIMITY CARDREADER HARDWARE DEVICE. SEE ELECTRICAL DRAWINGS.
- FRAME SHALL BE PREPARED FOR VON DUPRE POWER TRANSFER HINGE AND REQUEST TO EXIT DEVICE (REN), & CONDUCTOR TYPE. SEE ELECTRICAL DRAWINGS FOR THESE CONDITIONS. PROVIDE A STEEL ELECTRICAL BACKBOX WITH 1/2" CONDUIT KNOCKOUT TO HOUSE POWER TRANSFER HINGE. BACKBOX SHALL BE FACTORY MOUNTED TO THE FRAME PRIOR TO ARRIVAL AT JOBSITE. NOTE THAT DOUBLE DOOR INSTALLATIONS REQUIRE TWO POWER TRANSFER HINGES.
- SEE 7 SERIES SHEETS FOR HOLLOW METAL CURTAIN WALL (CW) AND STOREFRONT (SF & ISF) FRAME TYPES AND DETAILS.
- EMERGENCY EGRESS PUSH BAR HARDWARE.



GLASS TYPE	DESCRIPTION
G1T	1" INSULATED, LOW-E EXTERIOR GLASS. EACH LITE: 1/4-INCH CLASS 1 FLOAT GLASS, TEMPERED. FIRST (EXTERIOR) SURFACE: CLEAR. AIR SPACE WIDTH: 1/2-INCH. COATING: LOW-E ON SECOND SURFACE. SEE SPECS.
G2T	7/16" INSULATED, LOW-E EXTERIOR GLASS. EACH LITE: 1/8-INCH CLASS 1 FLOAT GLASS, TEMPERED. FIRST (EXTERIOR) SURFACE: CLEAR. AIR SPACE WIDTH: 3/8-INCH. COATING: LOW-E ON SECOND SURFACE. SEE SPECS.
-F	GRAPHIC FILM APPLIED TO INTERIOR SURFACE OF GLAZING. SEE SPECS.



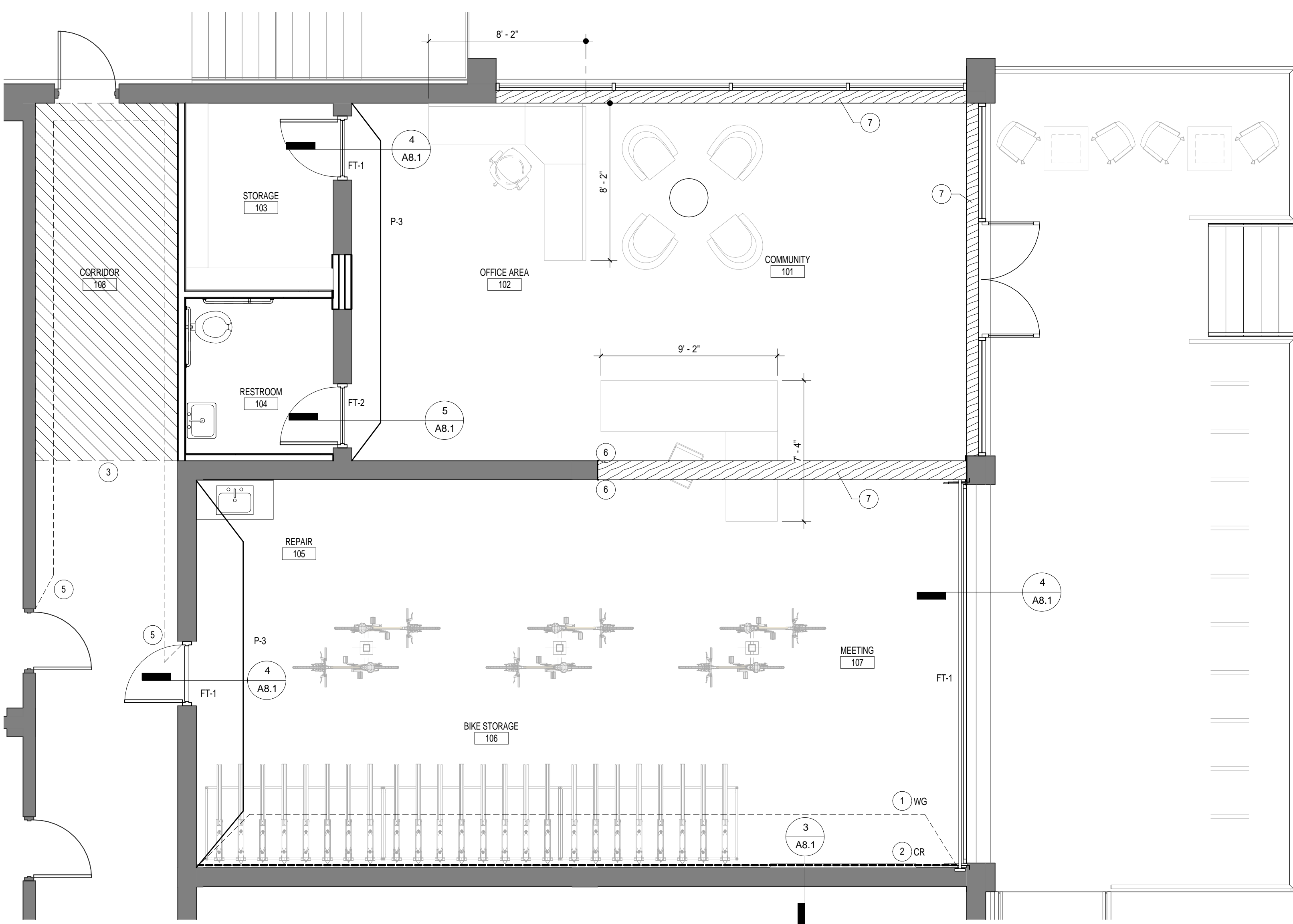
PROJECT TITLE
 CONVERT THE SQUASH/RIBBALL CT INTO BIKE SHOP
 1300 Wheat Street
 Columbia, SC 29208
 Project No.: HZ-Z-194

NO.	REVISIONS	DATE

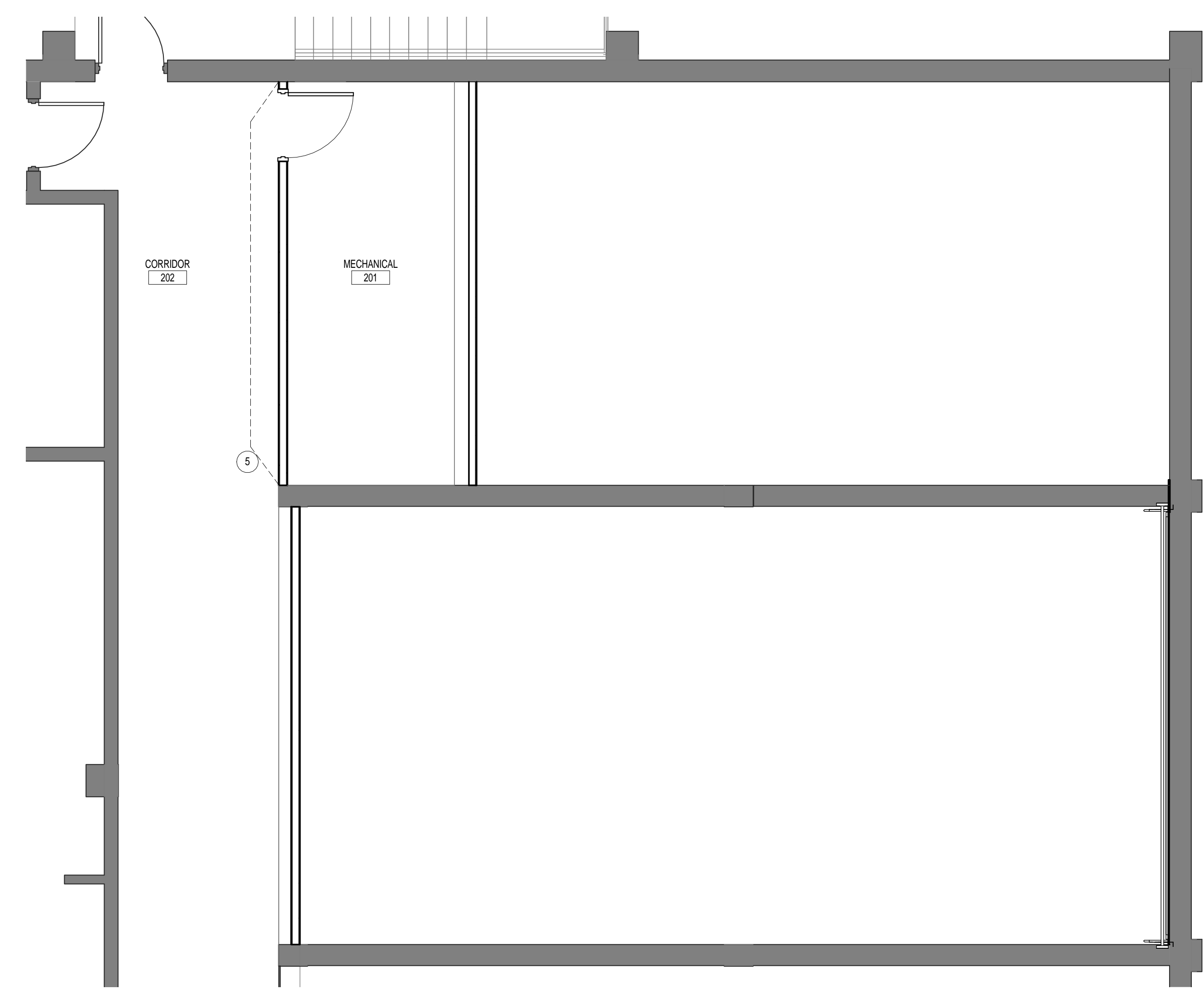
DRAWN BY:
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DRAWING TITLE
 DOORS AND STOREFRONT

DRAWING NO.
 A7.1



1 FIRST FLOOR FINISH PLAN
 A8.1 1/4" = 1'-0" REFERENCED ON: A1.1



2 SECOND FLOOR FINISH PLAN
 A8.1 1/4" = 1'-0" REFERENCED ON: A4.1

GENERAL NOTES - INTERIOR FINISHES

- A. WHERE SPECIFIC PRODUCTS ARE INDICATED, ITEM DESIGNATION INCORPORATES QUALITY AND AESTHETIC APPEARANCE FOR BASIS OF DESIGN. SEE SPECIFICATIONS FOR EQUAL MANUFACTURER'S PER PRODUCT TYPE INDICATED. DEPENDING ON LOCATION OF ITEM, ALTERNATES SHALL MATCH IN COLOR, TEXTURE, AS WELL AS PERFORMANCE CRITERIA, PER ARCHITECT'S APPROVAL.
- B. ALL PAINT COLOR SELECTIONS SHALL BE FIELD VERIFIED WITH ARCHITECT IN LIGHTED CONDITIONS PRIOR TO FINAL INSTALLATION. SEE SPEC. RE: MOCK-UPS.
- C. REFERENCE REFLECTED CEILING PLANS FOR EXTENT/LOCATION OF CEILING FINISH DESIGNATIONS, FANS AND SAIL LOCATIONS.
- D. SEE FINISH PLANS AND/OR ENLARGED INTERIOR PLANS & ELEVATIONS FOR EXTENT OF SPECIFIC FINISH DESIGNATIONS.
- E. FINISH COLLUMS IN OPEN AREAS TO MATCH ADJACENT WALLS, UNLESS NOTED OTHERWISE.
- F. SEE SILL DETAILS, FLOORING SPECIFICATIONS AND FINISH SCHEDULE FOR TRANSITION STRIPS.

KEYNOTES - FINISH PLAN

- 1 WALL GRAPHIC (WG) ABOVE CHAIRRAIL
- 2 WOOD CHAIRRAIL, PAINTED, P-4. SEE DETAIL/FINISH PLAN (HEAVY DASHED LINE)
- 3 LOCATION FOR NEW INFILL VCT, FIELD VERIFY QUANTITY
- 4 PAINT CORRIDOR SIDE OF DOORS TO MATCH EXISTING (P-5)
- 5 EXTENT OF NEW BASE IN EXISTING CORRIDOR, AS INDICATED
- 6 CORNER GUARD - MOUNT FROM RUBBER BASE TOP 4'-0" LENGTHS
- 7 PATCH WOOD FLOORING AT DEMO AREAS; SAND/REFINISH ALL WOOD FLOOR AREA.

SCHEDULED INTERIOR FINISHES

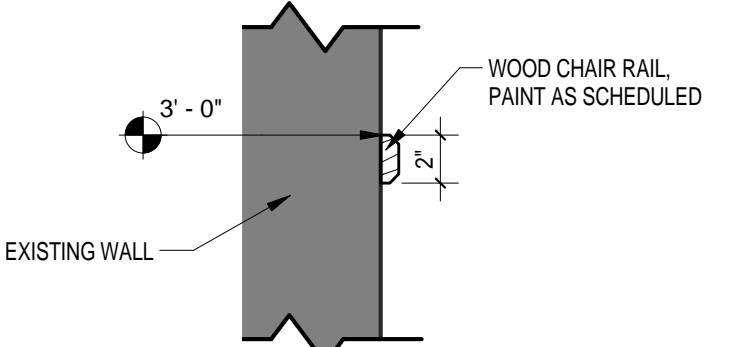
ABBREVIATION	DESCRIPTION	MANUFACTURER, COLOR, STYLE
BASE		
RB-1	RUBBER BASE - 4" COVERED	JOHNSONITE RECESS WALL BASE, BLACK
CTB	CERAMIC TILE BASE	3X24 BULLNOSE BASE UNIT, TO MATCH CT-1
FLOORS		
CT-1	CERAMIC TILE	BEDROSANS, RUNWAY, COLOR, TALPE, 12X24, RUNNING BOND
GR	GROUT	ARDEX, COLOR #15 GRAY DUSK OR EQ.
VCT	VINYL COMPOSITION TILE	MAUNINGTON PROGRESSIONS #55163 KHAKI BEIGE
EX WD, WOIST	NEW AND EXISTING WOOD, STAINED/REFINISHED	STAIN TO MATCH ARCHITECT'S SAMPLE-GREY/BROWN MED. TONE
WALLS		
P-1	PAINT - "WHITE" - EGGSHELL (FLAT (CEILINGS))	TO MATCH SHERWIN WILLIAMS SW767 "WHITE HERON"
P-2	PAINT - "TALPE" - EGGSHELL	TO MATCH SHERWIN WILLIAMS SW754 "KEYSTONE GRAY"
P-3	PAINT - "AQUA" - EGGSHELL	MATCH SHERWIN WILLIAMS SW929 "RAIN"
P-4	PAINT - "BLACK" SEMI-GLOSS (TRIM)	MATCH SHERWIN WILLIAMS SW928 "TIGERBORN BLACK"
P-5	PAINT - "SARNET" - SEMI-GLOSS (FLAT (CEILINGS))	TO MATCH EXISTING, FIELD VERIFY
P-6	PAINT - "WHITE" - SEMI-GLOSS	TO MATCH EXISTING, FIELD VERIFY
WG	WALL GRAPHIC	BY OTHERS, N.I.C.
CEILINGS		
APC-1	ACOUSTICAL PANEL CEILING-NEW	ARMSTRONG GEORGIAN #764 OR APPROVED EQ. 2X2
APC-2	ACOUSTICAL PANEL CEILING-INFILL	MATCH EXISTING 2X4, ARMSTRONG GEORGIAN #763 SIM. VERIFY IN FIELD
EXP	EXPOSED STRUCTURE OR PLASTER	PAINT, P-1
CASEWORK/TRIM		
PL-1	PLASTIC LAMINATE STD.	MANUFACTURER'S STANDARD, BLACK-WILSONART 1995-60 BLACK OR EQ.
PL-2	FURNITURE, N.I.C. BY OTHERS	ARPA BY INTERNAL, 600X ALUM LOLLISTER RISSO FINISH
SS-1	SOLID SURFACE	CORIAN - MINERAL
CR	WOOD CHAIRRAIL	PAINT GRADE, PAINT, P-4, SEE DETAIL
MISC		
EX	EXISTING	EXISTING FINISHES TO REMAIN, REPAIRED AS NEEDED
HMF	HOLLOW METAL FRAMES	METAL FRAMES AND TRIM, PAINTED, P-4, SEMI-GLOSS
HMD, FWD	HOLLOW METAL DOORS/FLUSH WOOD DOORS	ALL DOORS, PAINTED, P-2, SEMI-GLOSS, U.N.O. (P-5 @ EXIST. CORR. SIDE)
TFS	TENSILE FABRIC SAILS	SEE REFLECTED CEILING PLANS FOR LEGEND OF SHAPES AND COLORS
TBS	TO BE SELECTED	

*FINISH ORIENTATION IS PLAN NORTH

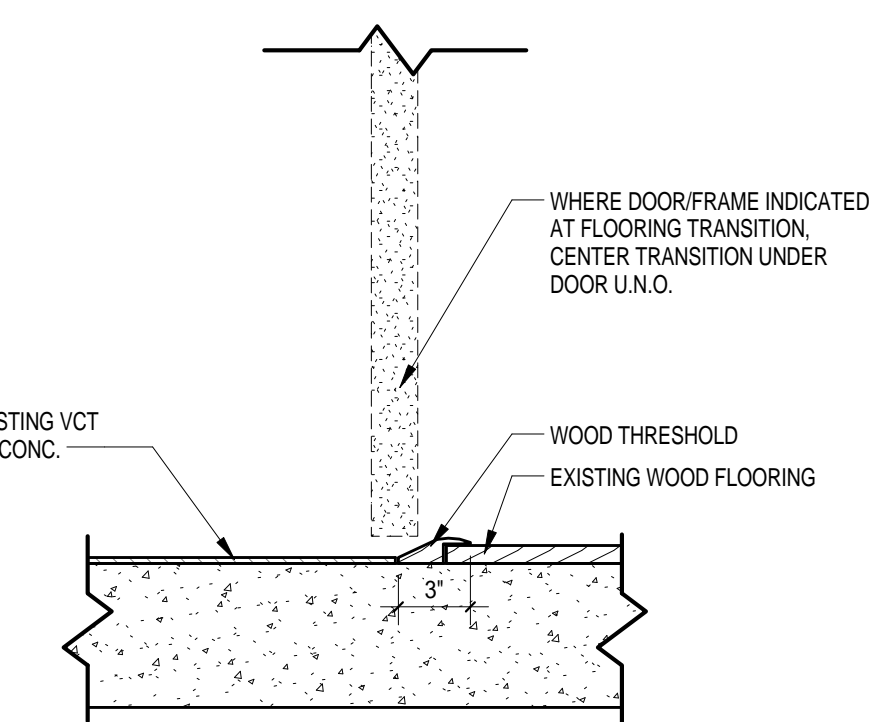
ROOM NO.	ROOM NAME	BASE	FLOOR	WALL FINISH				CEILING	Comments
				NORTH	EAST	SOUTH	WEST		
101	COMMUNITY	RB-1	EX WD/ST	P-1	P-1	P-1	--	EXP, P-1, TFS	
102	OFFICE AREA	RB-1	EX WD/ST	P-1	--	P-1	P-3	EXP, P-1, TFS	
103	STORAGE	RB-1	VCT	P-1	P-1	P-1	P-1	APC-1	
104	RESTROOM	CTB	CT-1	P-3,CT-1	P-3	P-3	P-3,CT-1	APC-1	
105	REPAIR	RB-1	EX WD/ST	P-1	--	P-1	P-3	EXP, P-1, TFS	
106	BIKE STORAGE	RB-1	EX WD/ST	--	--	P-1, WG	P-3	EXP, P-1, TFS	1,2
107	MEETING	RB-1	EX WD/ST	--	P-1	P-1, WG	P-1	EXP, P-1, TFS	1,2
108	CORRIDOR	RB-1	VCT,EX	--	P-1	--	--	EX, APC-2	3,4,5

*FINISH ORIENTATION IS PLAN NORTH

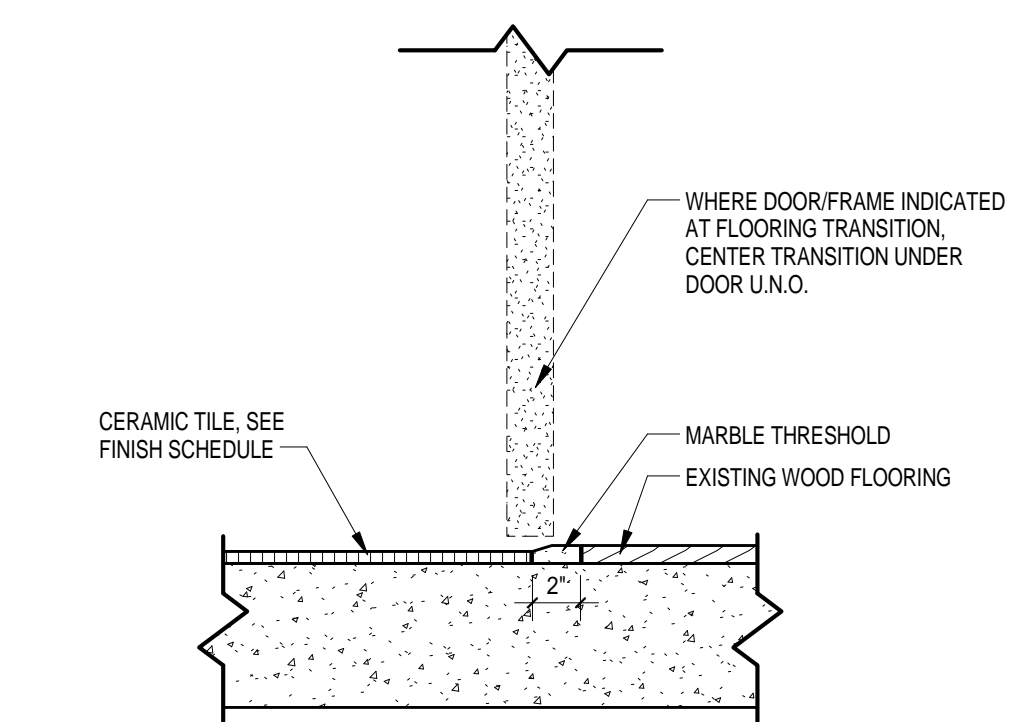
ROOM NO.	ROOM NAME	BASE	FLOOR	WALL FINISH				CEILING
				NORTH	EAST	SOUTH	WEST	
201	MECHANICAL	RB-1	EX	--	--	--	P-1	EXP
202	CORRIDOR	RB-1	EX, VCT	--	P-1	--	--	EX, APC-2



3 CHAIR RAIL SECTION DETAIL
 A8.1 1 1/2" = 1'-0" REFERENCED ON: A8.1



4 FT1
 A8.1 1 1/2" = 1'-0" REFERENCED ON: A8.1



5 FT2
 A8.1 1 1/2" = 1'-0" REFERENCED ON: A8.1

PROJECT TITLE
CONVERT THE SQUASH/RBALL CT INTO BIKE SHOP

1300 Wheat Street
 Columbia, SC 29208
 Project No.: HZ7-Z104

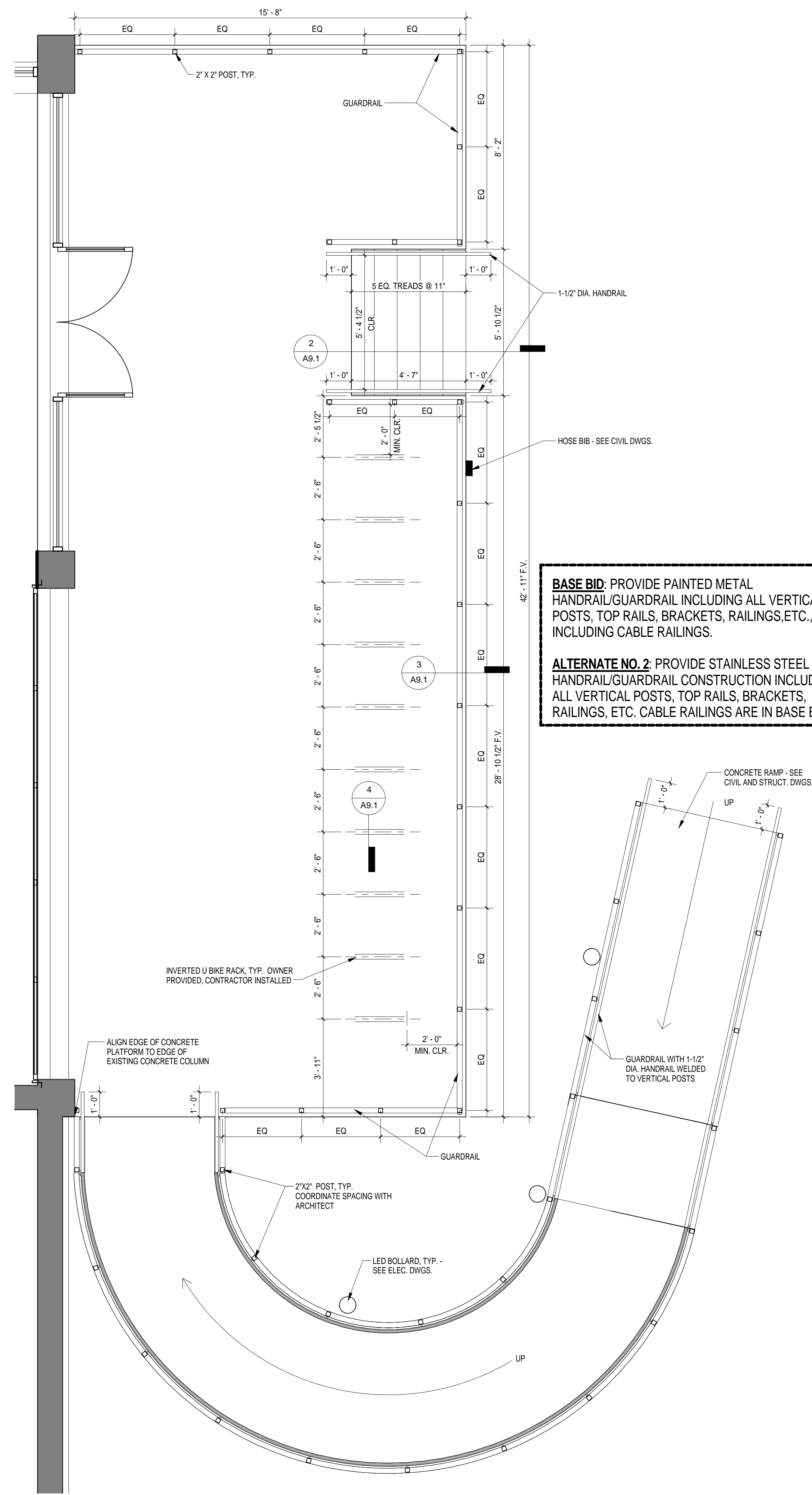
NO.	REVISIONS	DATE

DRAWN BY: AUTHZ
 CHECKED BY: CHECK

DRAWING TITLE
FINISH PLANS AND SCHEDULES

PROJECT NO. 1071.14
 DATE 06.07.14
 DRAWING NO. **A8.1**

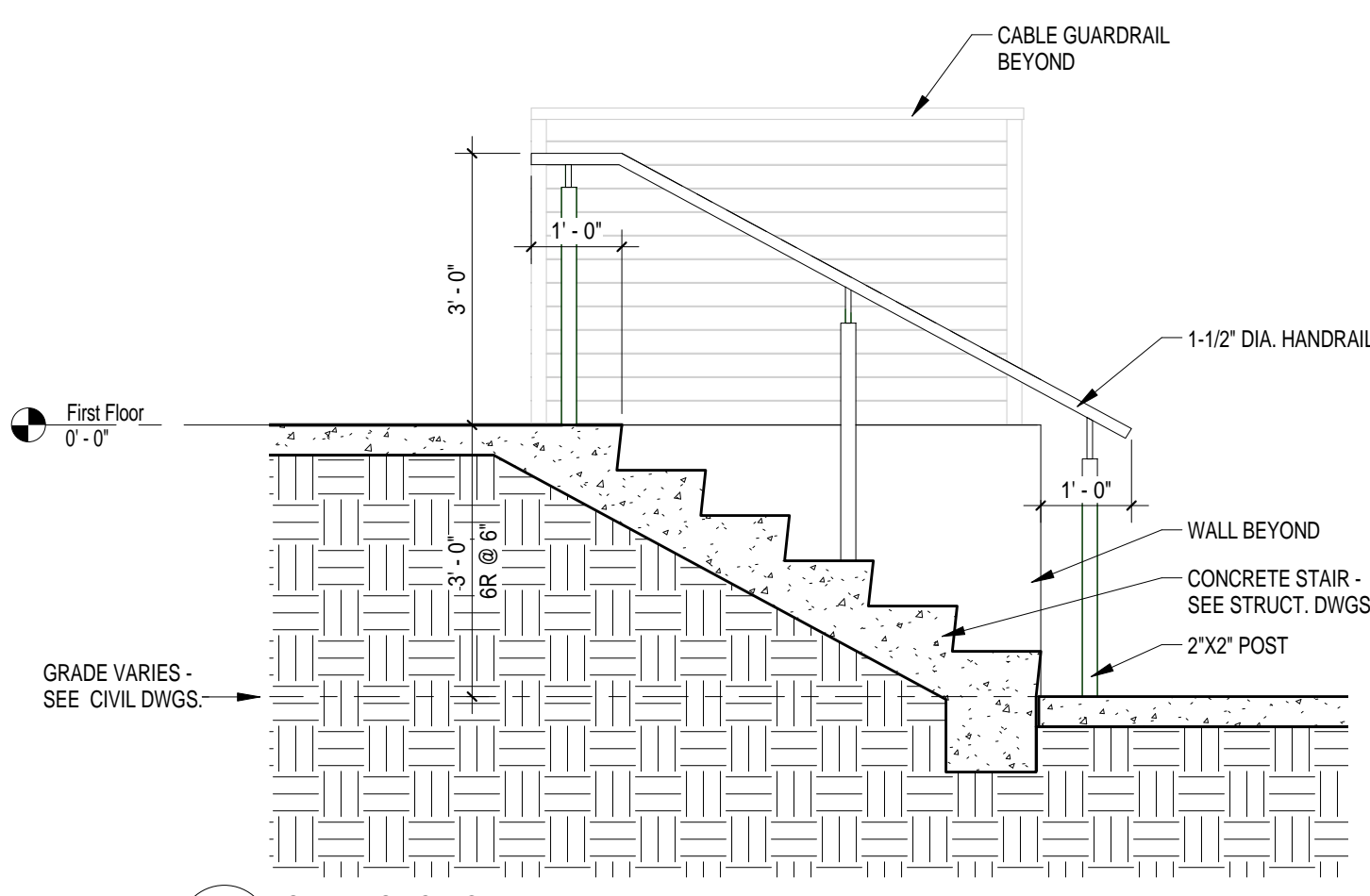
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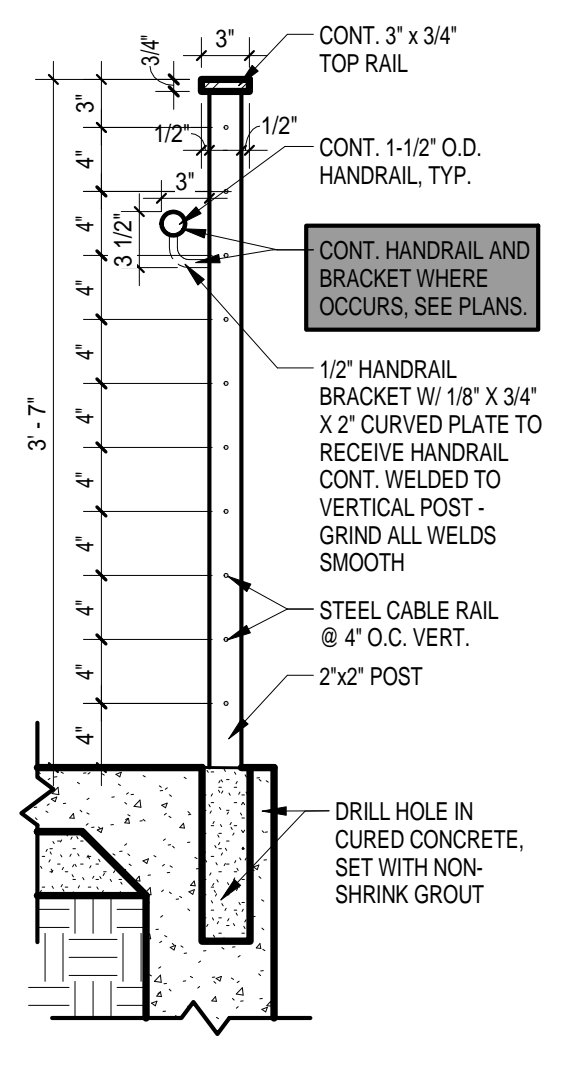
1 ENLARGED PLATFORM PLAN
A8.1 / 3/8" = 1'-0"
REFERENCED ON: A1.1

BASE BID: PROVIDE PAINTED METAL HANDRAIL/GUARDRAIL INCLUDING ALL VERTICAL POSTS, TOP RAILS, BRACKETS, RAILINGS, ETC., INCLUDING CABLE RAILINGS.

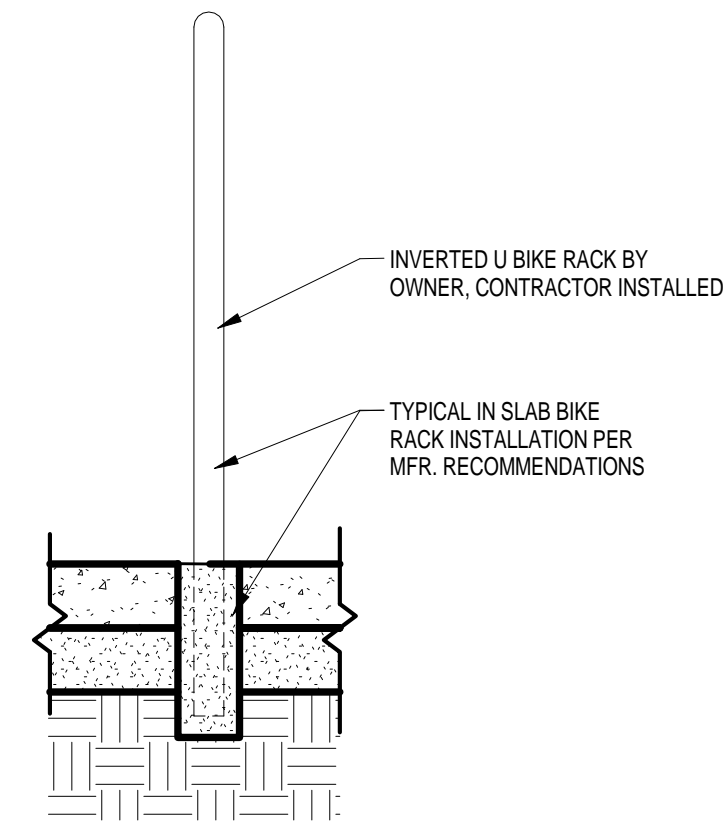
ALTERNATE NO. 2: PROVIDE STAINLESS STEEL HANDRAIL/GUARDRAIL CONSTRUCTION INCLUDING ALL VERTICAL POSTS, TOP RAILS, BRACKETS, RAILINGS, ETC. CABLE RAILINGS ARE IN BASE BID.



2 STAIR SECTION
A8.1 / 1/2" = 1'-0"
REFERENCED ON: A8.1



3 CABLE SECTION DETAIL
A8.1 / 1" = 1'-0"
REFERENCED ON: A8.1



4 BIKE RACK DETAIL
A8.1 / 1" = 1'-0"
REFERENCED ON: A8.1

ALTERNATE NO. 2

GENERAL NOTE - APPLY TO ALL GUARDRAIL/HANDRAIL DETAILS, NOTES AND REFERENCES.
BASE BID: PROVIDE PAINTED METAL HANDRAIL/GUARDRAIL INCLUDING ALL VERTICAL POSTS, TOP RAILS, BRACKETS, RAILINGS, ETC., INCLUDING CABLE RAILINGS

ALTERNATE NO. 2: PROVIDE STAINLESS STEEL HANDRAIL/GUARDRAIL CONSTRUCTION INCLUDING ALL VERTICAL POSTS, TOP RAILS, BRACKETS, RAILINGS, ETC. CABLE RAILINGS INCLUDED IN THE BASE BID.

NO.	REVISIONS	DATE

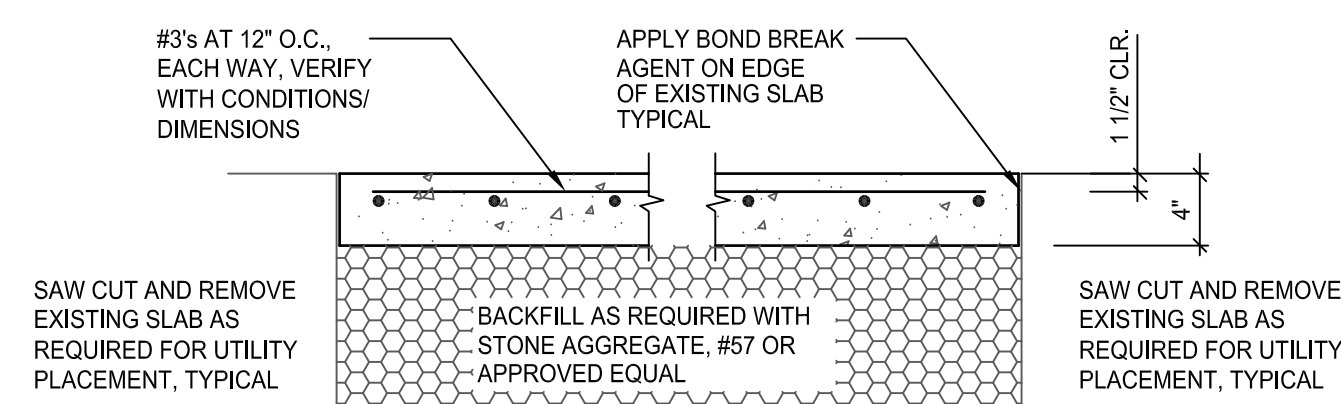
DRAWN BY:	AUT/2
CHECKED BY:	CH/2

GENERAL NOTES:

- LOADS:
 - LIVE LOADS:
 - ASSEMBLY AREAS..... 100 PSF, 2000 LB CONCENTRATED
 - ROOF..... 20 PSF, UNREDUCED
 - DEAD LOADS: ACTUAL WEIGHTS OF MATERIALS, EQUIPMENT, AND ETC.
 - ROOF SNOW LOADS:
 - (1) GROUND SNOW LOAD $P_g = 10$ PSF
 - WIND LOAD:
 - (1) BASIC WIND SPEED 115 MPH
 - (2) RISK CATEGORY II
 - (3) WIND EXPOSURE C
 - (4) INTERNAL PRESSURE COEFFICIENT $C_{pi} = \pm 0.00$
 - (5) DESIGN PRESSURES FOR COMPONENTS AND CLADDING:
 - ROOF LOAD:
 - CORNER ZONE OR ZONE 3 USE $W = 57.0$ PSF
 - EDGE/RIDGE ZONES OR ZONE 2 USE $W = 44.1$ PSF
 - INTERIOR ZONE OR ZONE 1 USE $W = 28.5$ PSF
 - SEISMIC DESIGN DATA:
 - (1) RISK CATEGORY I
 - (2) MAPPED SPECTRAL RESPONSE ACCELERATIONS:
 - $S_1 = 0.25$; $S_2 = 0.15$
 - (3) SITE CLASS C
 - (4) SPECTRAL RESPONSE COEFFICIENTS:
 - $S_{a1} = 0.43$; $S_{a2} = 0.16$
 - (5) SEISMIC DESIGN CATEGORY C
 - (6) BASIC STRUCTURAL SYSTEM AND SEISMIC RESISTING SYSTEM: MOMENT RESISTING FRAME SYSTEM WITH ORDINARY STEEL MOMENT FRAMES
 - (7) DESIGN BASE SHEAR: $V = 5.6$ KIPS
 - (8) SEISMIC RESPONSE COEFFICIENT: $C_s = 0.084$
 - (9) RESPONSE MODIFICATION FACTOR: $R = 1/2$
 - (10) ANALYSIS PROCEDURE - EQUIVALENT LATERAL FORCE PROCEDURE
- BUILDING CODE - INTERNATIONAL BUILDING CODE 2012
- CAST-IN-PLACE CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS: NORMAL WEIGHT (150 PCF) 4000 PSI FOR ALL CONCRETE. LIMIT FLY ASH CONTENT TO 25% MAXIMUM BY WEIGHT.
- ALL REINFORCING BARS TO HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI.
- CONCRETE FORMWORK:
 - ALL FORMWORK SHALL BE DESIGNED, ERECTED, SUPPORTED, BRACED, AND MAINTAINED ACCORDING TO ACI STANDARD 347 RECOMMENDED PRACTICE FOR CONCRETE FORMWORK.
 - RESPONSIBILITY: THE DESIGN, CONSTRUCTION, AND SAFETY OF ALL FORMWORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL FORM, SHORES, BACKSHORES, FALSEWORK, BRACING, AND OTHER TEMPORARY SUPPORTS SHALL BE ENGINEERED TO SUPPORT ALL LOADS IMPOSED INCLUDING THE NET WEIGHT OF CONCRETE, CONSTRUCTION EQUIPMENT, LIVE LOAD, LATERAL LOADS DUE TO WIND AND WET CONCRETE IMBALANCE. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - TOLERANCE: UNLESS SPECIFIED OTHERWISE, ALL TOLERANCES FOR CONCRETE FORMWORK SHALL CONFORM TO ACI STANDARD 117, STANDARD TOLERANCE FOR CONCRETE CONSTRUCTION AND MATERIALS.
 - ALL PERMANENTLY VISIBLE EDGES OF CONCRETE SHALL HAVE A 3/4" CONTINUOUS CHAMFER. THIS INCLUDES ALL SLABS, BEAMS, COLUMNS, AND WALLS.
- CHECK WITH VARIOUS TRADES FOR SLEEVES, OPENINGS, CONDUITS, ETC. BEFORE POURING CONCRETE.
- VERIFY ALL ELEVATIONS AND DIMENSIONS WITH EXISTING CONDITIONS.
- SEE ARCHITECTURAL DRAWINGS FOR MISCELLANEOUS DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
- PROVIDE AND INSTALL ALL TEMPORARY BRACING AS REQUIRED FOR SAFETY/STABILITY OF THE STRUCTURE UNTIL STRUCTURE IS COMPLETE.
- STRUCTURAL STEEL:
 - STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS, UNLESS NOTED OTHERWISE ON PLANS:
 - ALL ROLLED ANGLES, CHANNELS, PLATES, BARS, ETC A36 ($F_y=36$ ksi).
 - ALL ROLLED W SHAPES, BEAMS, COLUMNS, ETC A992 ($F_y=50$ ksi).
 - STRUCTURAL STEEL PIPE ----- A53 ($F_y=36$ ksi)
 - STRUCTURAL STEEL TUBE ----- A501 ($F_y=46$ ksi)
 - BOLTED CONNECTIONS:
 - ALL CONNECTIONS (UNLESS NOTED OTHERWISE) SHALL BE MADE WITH 3/4" DIAMETER A-325X OR A490X BOLTS. ALL FIELD BOLTED CONNECTIONS SHALL BE LOAD INDICATOR/TENSION CONTROL TYPE BOLTS. UNLESS NOTED OTHERWISE OVERSIZE OR LONG SLOTTED HOLES ARE NOT ALLOWED UNLESS SHOWN ON STRUCTURAL PLANS.
 - THE SHOP DRAWINGS SHALL CLEARLY INDICATE THE TYPE OF BOLTS USED IN EACH CONNECTION AND THE ALLOWABLE VALUES USED FOR THE VARIOUS BOLT TYPES.
 - THE FOLLOWING MINIMUM STANDARDS APPLY:
 - MINIMUM PLATE THICKNESS = 3/8"
 - MINIMUM BOLT DIAMETER = 3/4"
 - MINIMUM WELD = 3/16" THICK THROAT
 - MINIMUM DESIGN LOAD ON ANY CONNECTION = 15kips
 - WELDED CONNECTIONS:
 - ALL SHOP AND FIELD WELDING SHALL CONFORM TO AAS STRUCTURAL WELDING CODE-STEEL, ANS/AWS - D1.1
 - MINIMUM WELD = 3/16" THICK THROAT
- DRAWINGS INDICATE GENERAL ARRANGEMENT AND DIMENSIONS AND ARE GENERALLY DRAWN TO SCALE. HOWEVER, SCALE DIMENSIONS SHALL NOT BE USED. OBTAIN DIMENSIONS FROM ARCHITECT, WHEN NOT GIVEN IN FIGURES. REFER TO THE ARCHITECT AND ENGINEER IF ANY INCONSISTENCIES ARE FOUND.
- WHERE CONFLICTS EXIST BETWEEN STRUCTURAL AND ARCHITECTURAL, USE STRUCTURAL FOR ITEMS RELATING TO STRUCTURAL STRENGTH SUCH AS VERTICAL REINFORCING IN CONCRETE WALLS, FOOTING SIZE, FOOTING ELEVATION, REINFORCING, MEMBER SIZE, ETC.

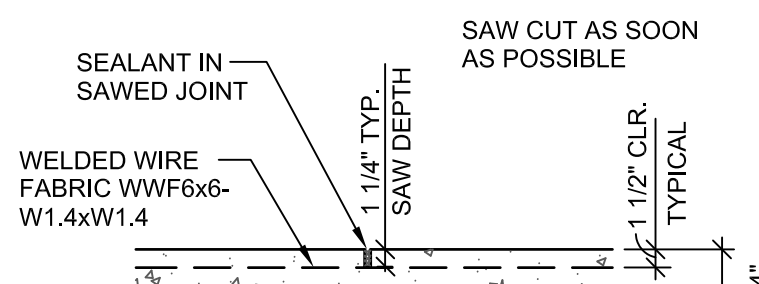
SOIL NOTES:

- FOOTINGS DESIGNED FOR AN ASSUMED SOIL BEARING VALUE OF 2000 PSF. GEOTECHNICAL ENGINEER/TESTING LABORATORY SHALL VERIFY BEARING VALUE PRIOR TO FOOTING PLACEMENT.
- BEFORE ANY CONSTRUCTION, THE ENTIRE SITE AREA SHALL BE STRIPPED OF ANY ROOT SYSTEMS, SURFACE VEGETATION, ORGANIC SURFACE SOILS, EXISTING CONCRETE SLABS, FOOTINGS, BURIED FUEL TANKS, UNDERGROUND UTILITIES, AND ANY OTHER UNSUITABLE NEAR SURFACE MATERIALS. ALSO, ALL EXISTING MATERIAL BENEATH THE BUILDING AREAS SHALL BE COMPLETELY REMOVED TO A DEPTH DETERMINED BY THE TESTING LABORATORY NECESSARY TO OBTAIN THE REQUIRED BEARING VALUE. THE UNDERCUTTING SHALL EXTEND AT LEAST FIVE FEET OUTSIDE THE BUILDING AREA. AFTER STRIPPING AND UNDERCUTTING, THE EXPOSED SUBGRADE SHALL BE EVALUATED BY THE GEOTECHNICAL ENGINEER TO CONFIRM THAT ALL UNSUITABLE MATERIALS HAVE BEEN REMOVED. THE EXPOSED SUBGRADE SHALL THEN BE DENSIFIED, TO 95% OF STANDARD PROCTOR DENSITY IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER, WITH APPROVED EQUIPMENT.
- ALL EXISTING FOUNDATIONS, UTILITIES, TANKS, ETC. WITHIN THE PROPOSED BUILDING AREA SHALL BE REMOVED. IF EXISTING UTILITIES, FOUNDATIONS, TANKS, ETC. ARE LOCATED BELOW THE PROPOSED FOOTINGS, THEY SHALL BE BACKFILLED WITH A WELL COMPACTED CRUSHED STONE.
- ONCE THE EXPOSED SUBGRADE AREAS HAVE BEEN SATISFACTORILY STABILIZED/DENSIFIED, THE PLACED FILL SOILS SHALL BE COMPACTED IN LIFTS NOT EXCEEDING EIGHT (8") INCHES IN LOOSE THICKNESS. AN IN PLACE DRY DENSITY OF APPROXIMATELY NINETY FIVE PERCENT (95%) OF THE MAXIMUM STANDARD PROCTOR DENSITY (ASTM D-698) SHALL BE OBTAINED IN EACH LIFT. ALL FILL MATERIAL SHALL BE TESTED BY LABORATORY PERSONNEL TO VERIFY THEIR SUITABILITY FOR USE AS A STRUCTURAL FILL.
- THE TESTING LABORATORY SHALL DO A SUFFICIENT NUMBER OF IN PLACE DENSITY TESTS TO CONFIRM THAT THE REQUIRED DEGREE OF COMPACTION IS OBTAINED.
- EACH FOOTING EXCAVATION SHALL BE THOROUGHLY TAMPED USING A MECHANICAL TAMPER BEFORE PLACING ANY STEEL OR CONCRETE. ALL SOFT, LOOSE, OR OTHERWISE QUESTIONABLE SOILS SHALL BE STABILIZED BY COMPACTING IN PLACE OR BY REMOVING AND REPLACING SUCH UNSUITABLE SOILS. IN AREAS THAT ARE DIFFICULT TO STABILIZE, A COARSE CRUSHED AGGREGATE SHALL BE USED TO STABILIZE THE EXCAVATIONS. TESTING LABORATORY SHALL VERIFY THAT THE FOOTING EXCAVATIONS HAVE BEEN COMPACTED AND THAT THE BEARING CAPACITY HAS BEEN ACHIEVED.
- CONTRACTOR SHALL ESTABLISH AND MAINTAIN GOOD SITE DRAINAGE THROUGHOUT CONSTRUCTION.
- IT IS REQUIRED THAT ALL FOOTINGS BE CONSTRUCTED AS SOON AS POSSIBLE AFTER EXCAVATION TO BEARING SOILS IS COMPLETED. IF THE BEARING SOILS ARE EXPOSED TO SURFACE OR RAIN WATER, THE SOFTENED SOIL SHALL BE THOROUGHLY REMOVED PRIOR TO PLACEMENT OF CONCRETE. IF IT IS ANTICIPATED THAT FOOTING EXCAVATIONS WILL REMAIN EXPOSED FOR MORE THAN 24 HOURS OR IF RAIN IS IMMINENT WHILE BEARING SOILS ARE EXPOSED, A 2 TO 4 INCH THICKNESS OF 2000 PSI MINIMUM STRENGTH CONCRETE MAY BE PLACED OVER BEARING SOILS FOR PROTECTION.
- IMMEDIATELY PRIOR TO CONSTRUCTING THE FLOOR SLAB OR PAVEMENT BASE COURSE, THE SUBGRADE SHALL BE RECOMPACTED TO REPAIR ANY SUBGRADE THAT HAS BEEN DISTURBED DURING CONSTRUCTION. AFTER COMPACTION OF THE SUBGRADE, FIELD DENSITY TESTING AND PROOFROLLING SHALL BE PERFORMED TO EVALUATE THE CONDITIONS OF THE SUBGRADE BEFORE PLACING THE SLAB OR PAVING BASE COURSE.
- THE COMPACTION RECOMMENDATIONS GIVEN ABOVE ALSO APPLY TO BACKFILL FOR UTILITY TRENCHES WITHIN THE BUILDING AND PAVED AREAS. FIELD DENSITY TESTING SHALL BE PERFORMED THROUGHOUT THE BACKFILLING PROCESS TO DOCUMENT THE CONTRACTOR'S COMPACTION PERFORMANCE IN THE UTILITY TRENCH BACKFILL.
- PROVIDE 4" COMPACTED GRANULAR AGGREGATE BASE BENEATH SLABS.



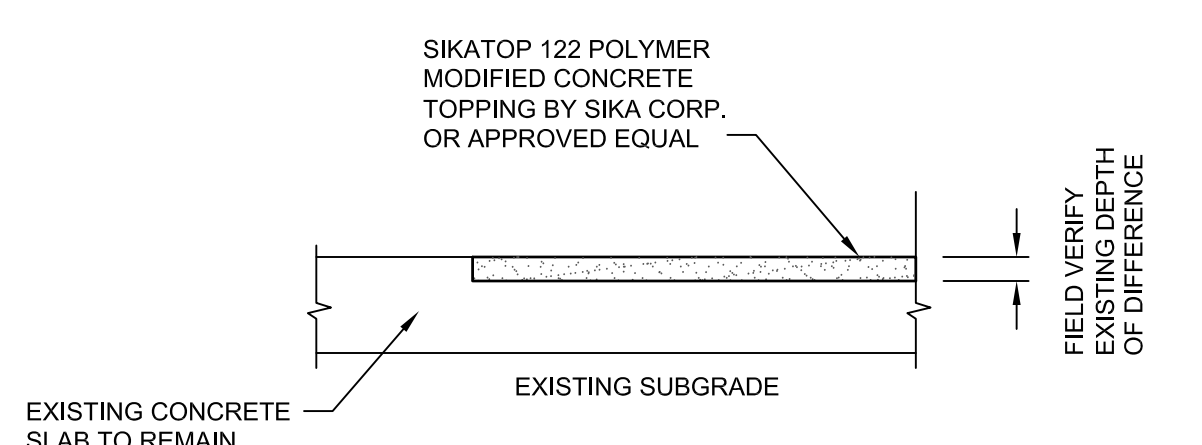
MISCELLANEOUS UTILITY INFILL SLAB

NOT TO SCALE



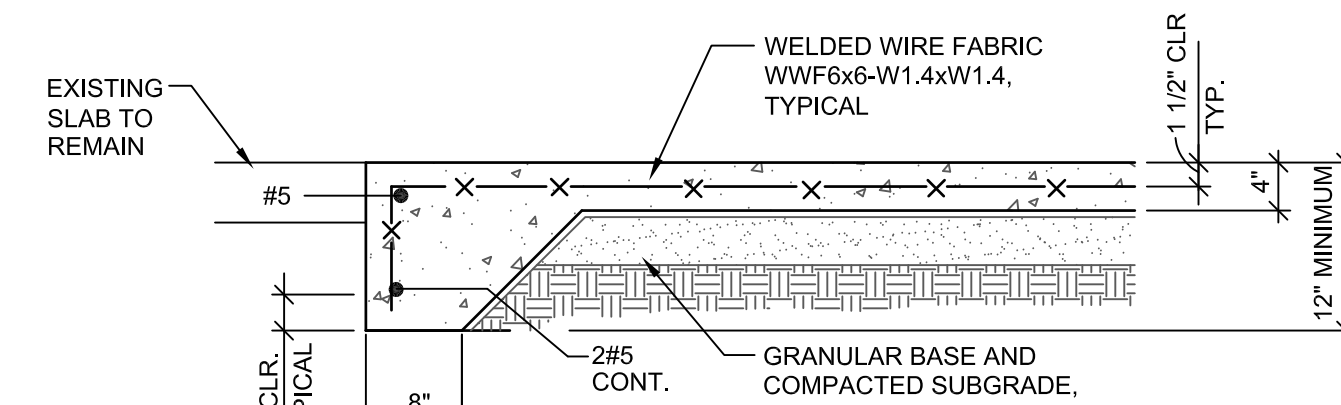
TYPICAL SAW JOINT (S.J.)

SCALE: 3/4"=1'-0"



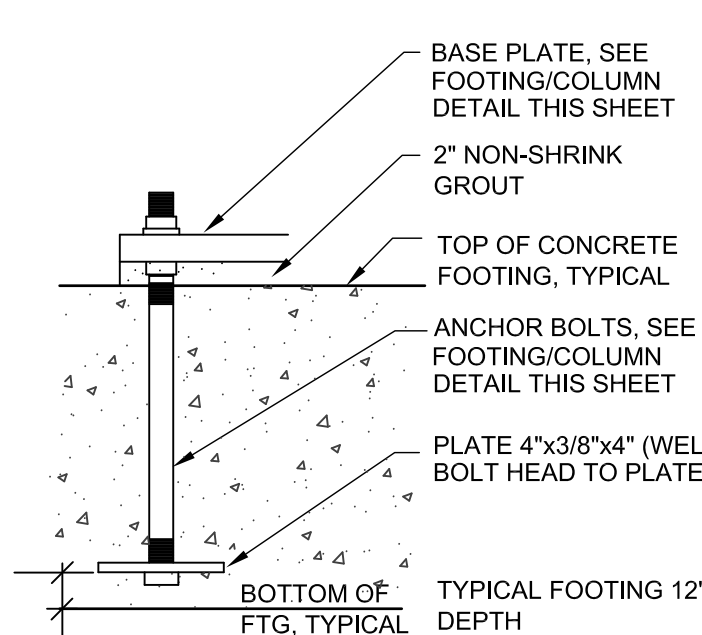
TYPICAL PATCHING AT EXISTING SLABS

SCALE: 3/4"=1'-0"



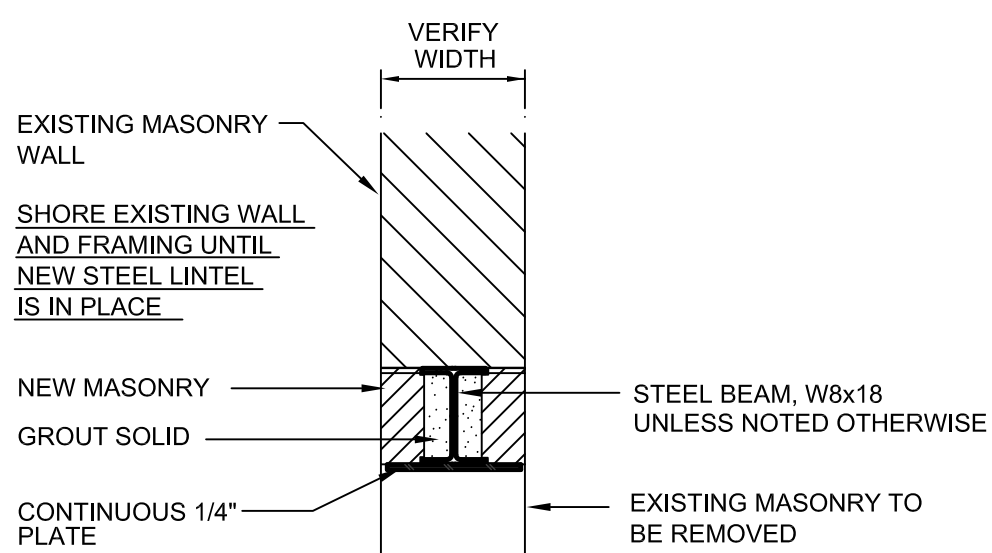
TOE FOOTING AT END OF RAMP

SCALE: 3/4"=1'-0"



ANCHOR BOLT EMBEDMENT

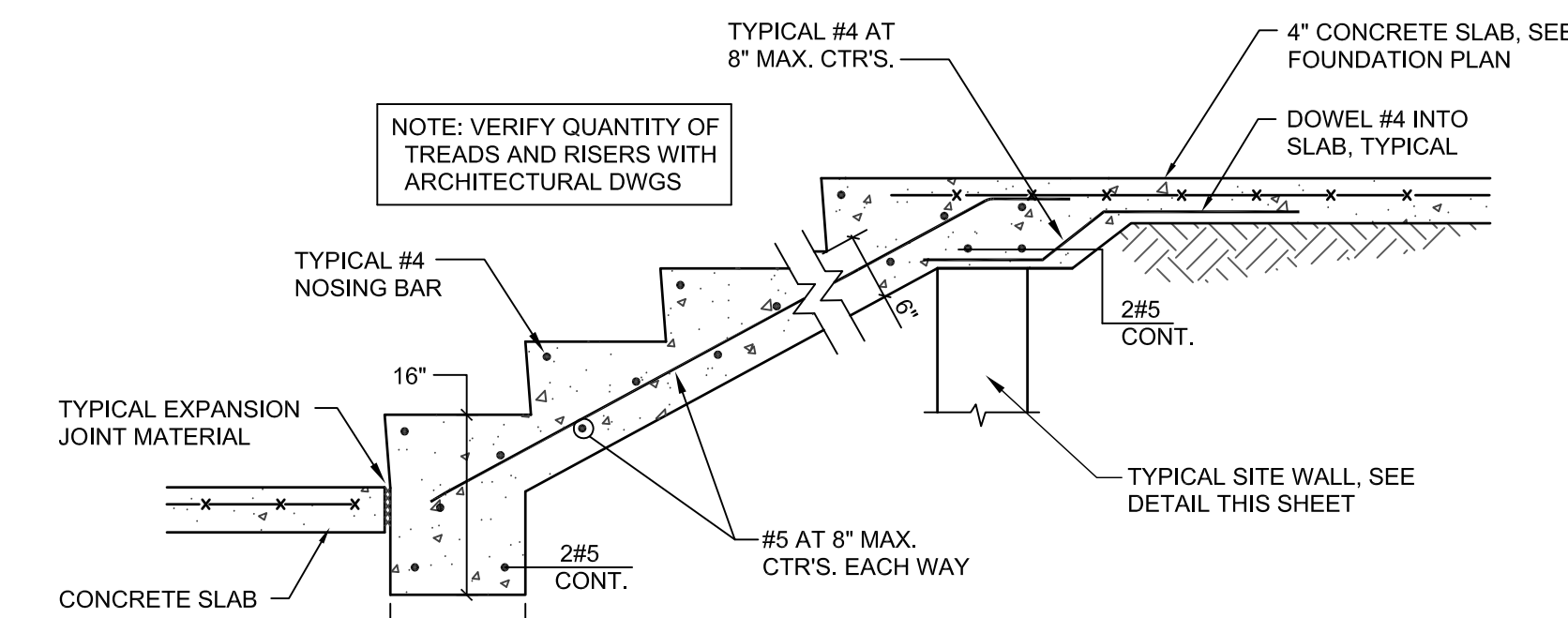
NOT TO SCALE



NOTE: PROVIDE BEARING PLATES @ EACH END OF NEW LINTEL. 7x1/4x7" WITH (2) 1/2" ANCHORS. REMOVE PORTION OF MASONRY, TO SET PLATE, AND FILL SOLID UNDER PLATE W/ NON-SHRINK GROUT. REPAIR MASONRY AFTER PLACEMENT.

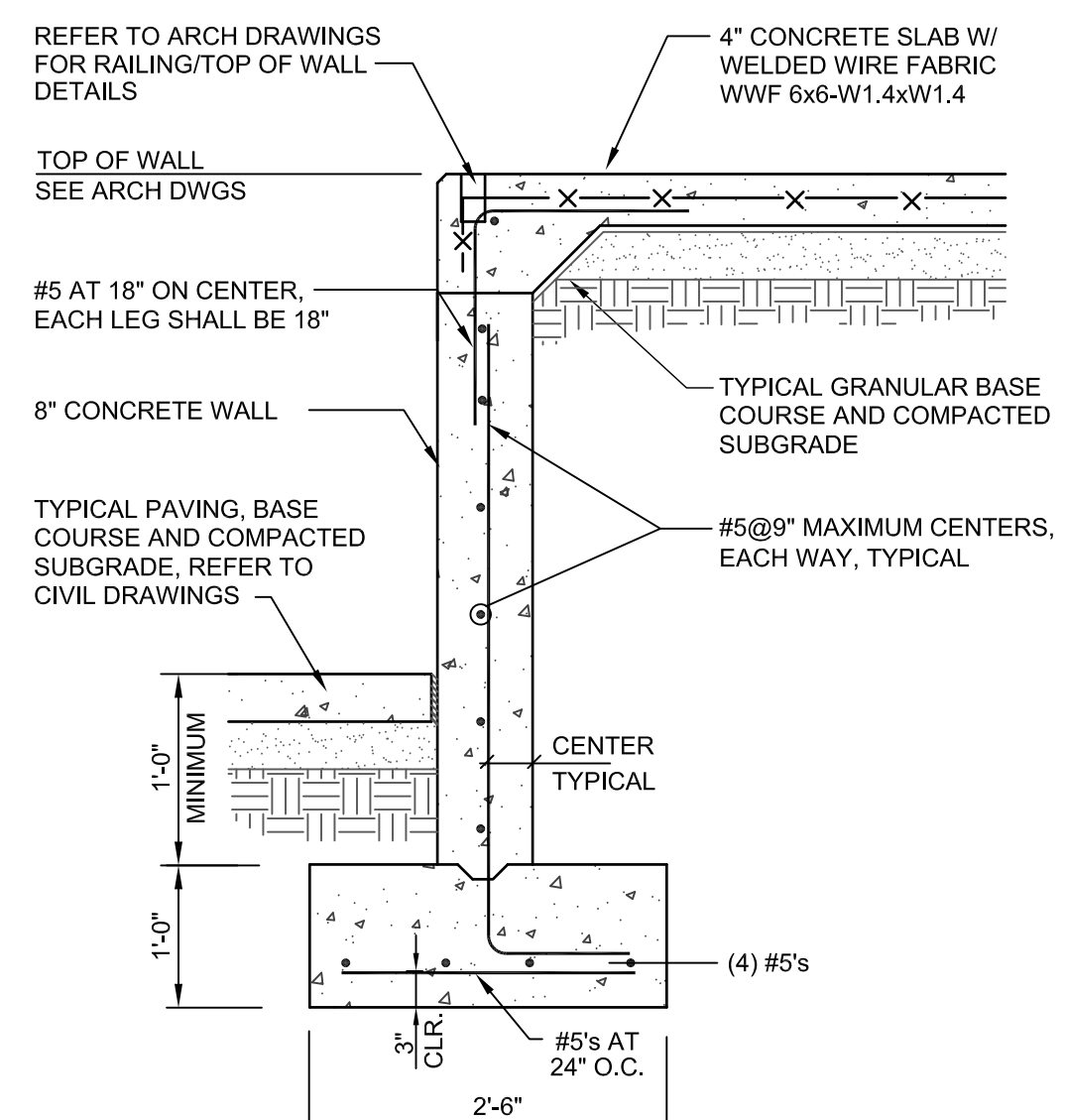
NEW LINTEL IN EXISTING WALL

NOT TO SCALE



TYPICAL CONCRETE STAIR

SCALE: 3/4"=1'-0"



TYPICAL SITE WALL

SCALE: 3/4"=1'-0"

803.212.1032 p. 7 803.212.1074
Columbia, SC 29102
P.O. Box 18
1709 Lincoln Street

NO.	DATE	REVISIONS

PROJECT TITLE
CONVERT THE SQUASH/BALL CT INTO BIKE SHOP

1300 Wheat Street
Columbia, SC 29208
Project No.: HZ7-2134

NO.	DATE	REVISIONS

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CHECKED BY: AAS

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DRAWING TITLE
NOTES AND TYPICAL DETAILS

DRAWING NO.
S0.1

Mabry Engineering Associates, Inc.
Structural Engineers

840 Shull Street
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West Columbia, SC 29169
(803) 928-0000
FAX (803) 928-7800
MEM 14-726

AE SEAL
AE SEAL

PROJECT TITLE
 CONVERT THE SQUASH/RBALL CT
 INTO BIKE SHOP
 1300 Wheat Street
 Columbia, SC 29208
 Project No. - HZ7-2134

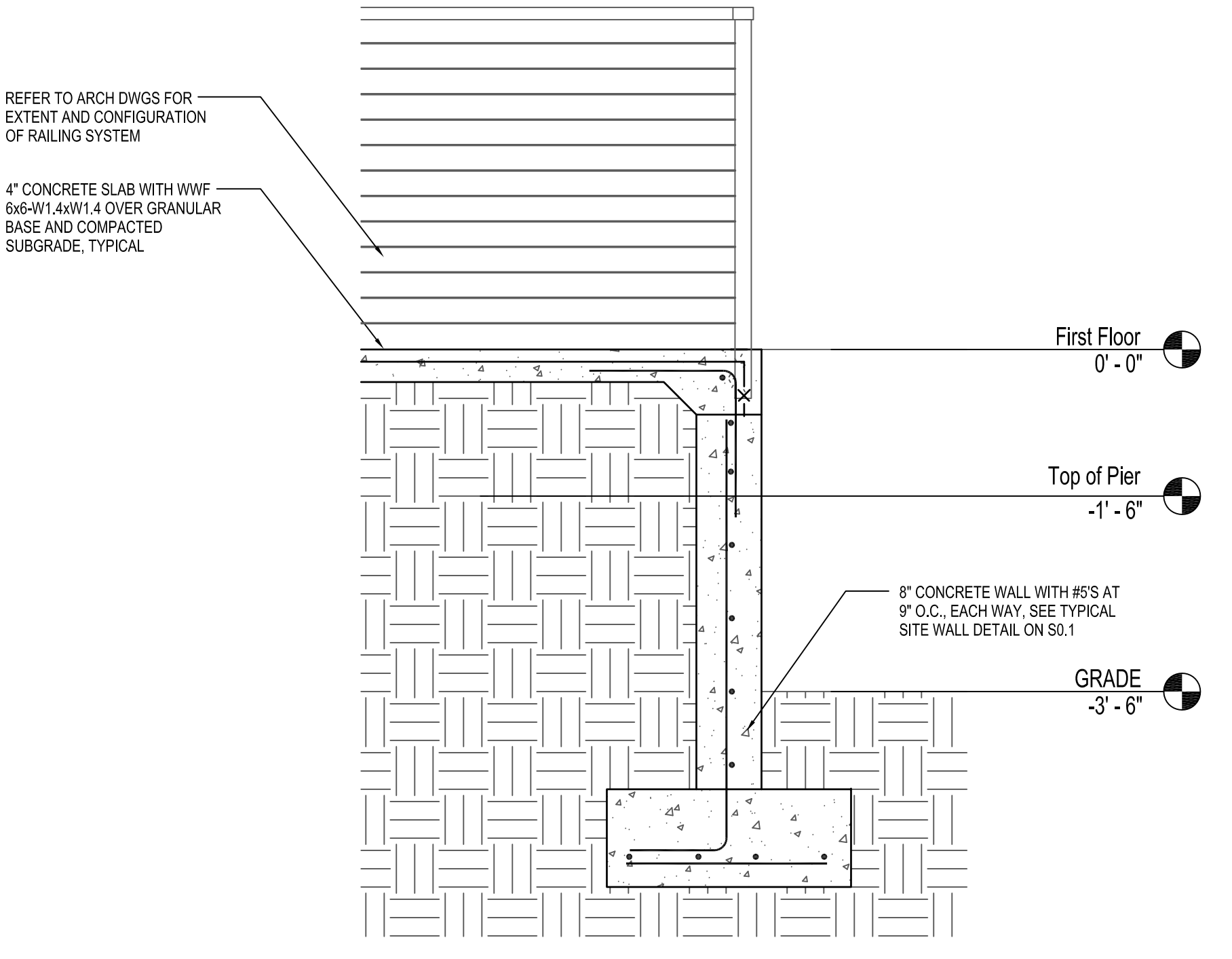
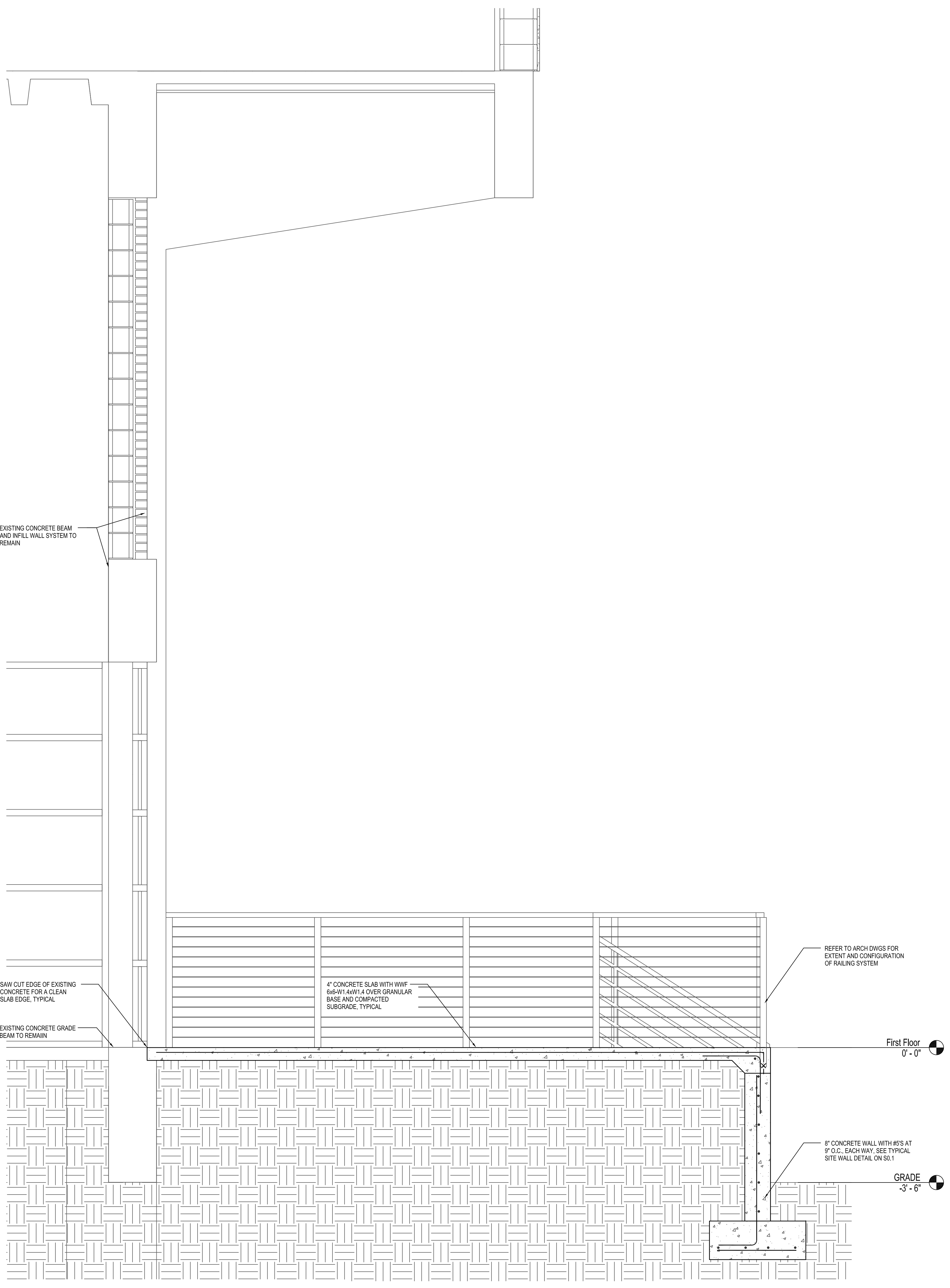
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DRAWING TITLE
 WALL SECTIONS

PROJECT NO. 05/14
DATE 05/14
DRAWING NO. S2.1

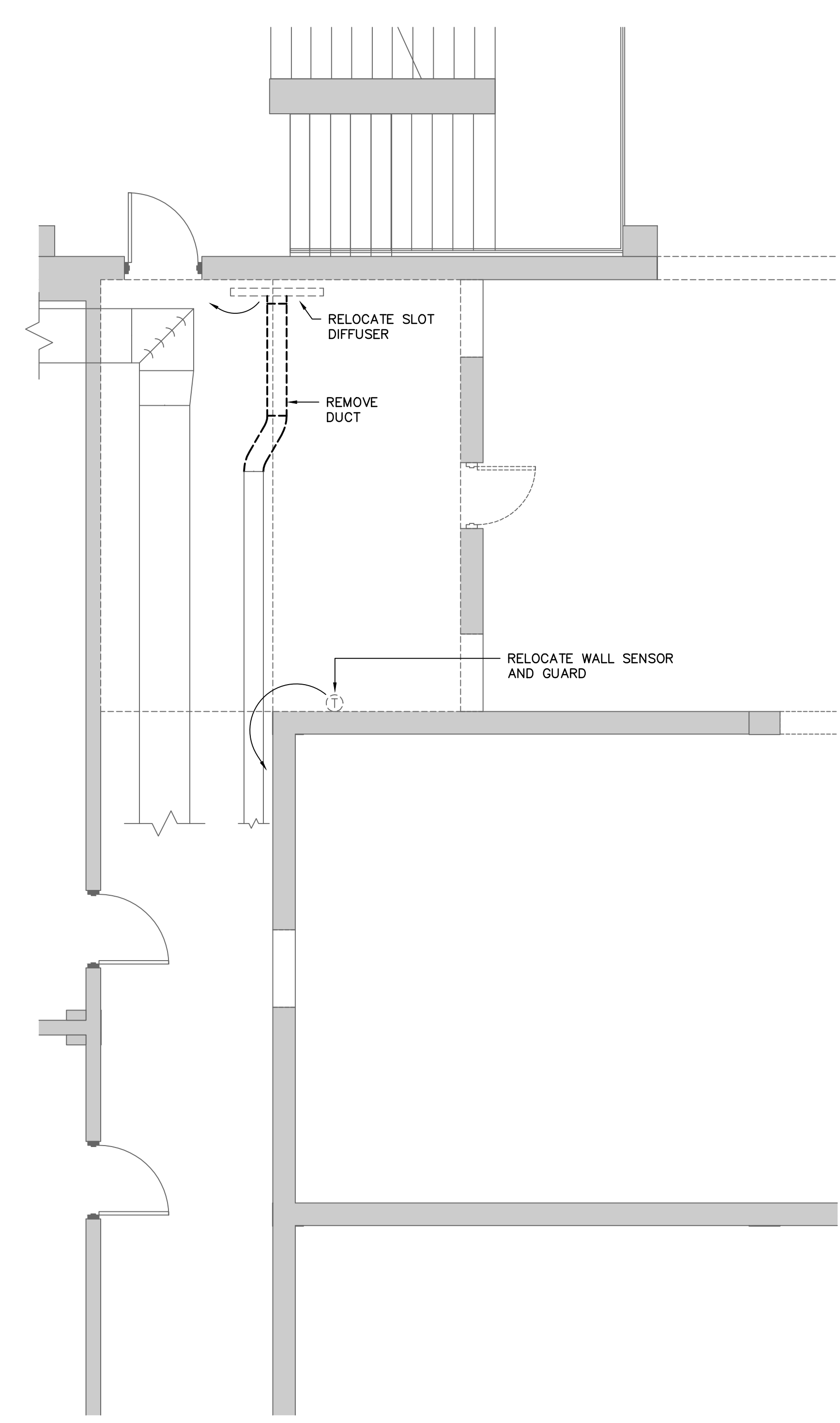
Mabry Engineering Associates, Inc.
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 840 Shull Street
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 M.E.A. 14-726



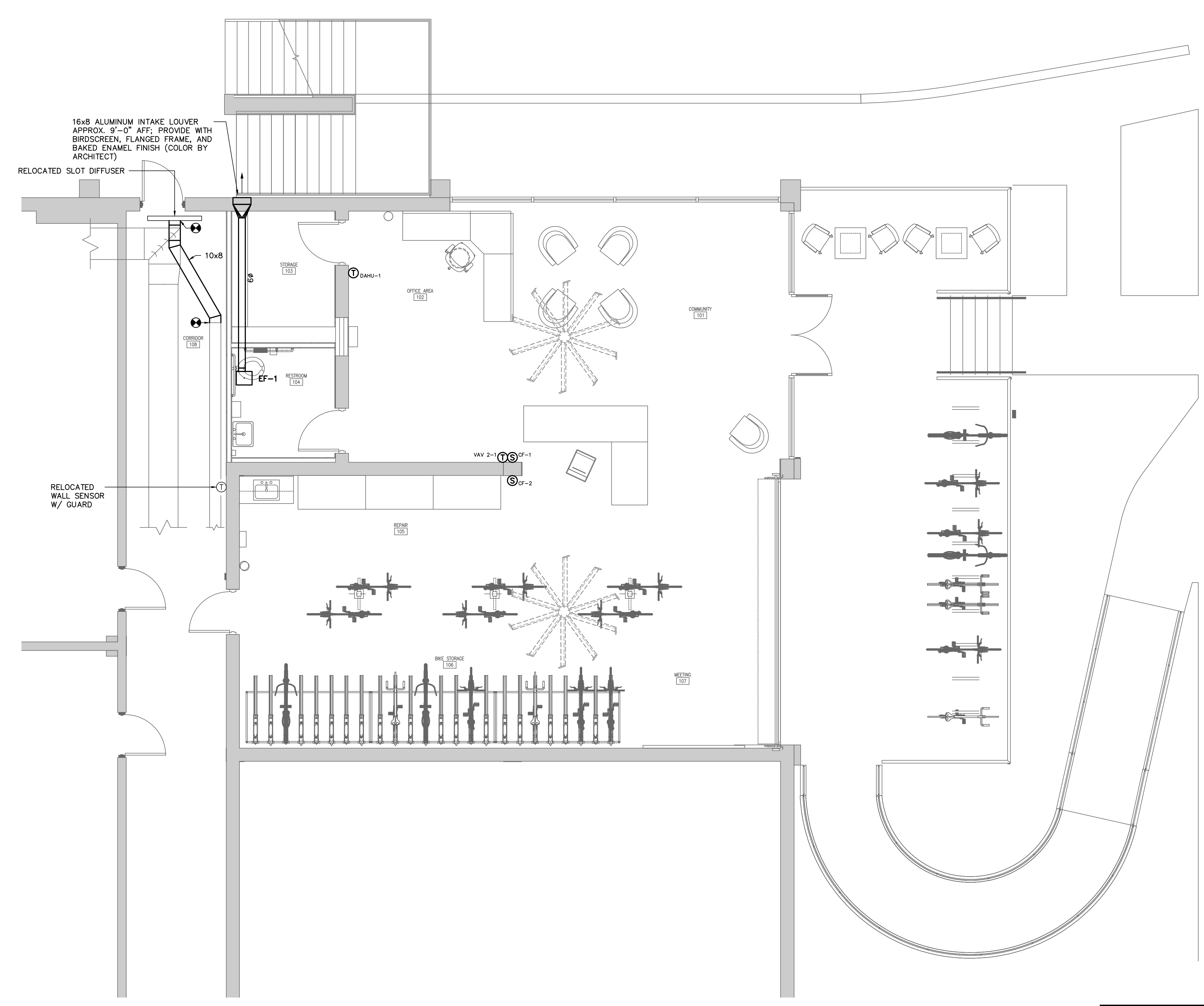
2 COLUMN PIER AT ROOF DRAIN
 S2.1 3/4" = 1'-0" REFERENCE ON: S1.1

1 WALL SECTION AT CANOPY
 S2.1 3/4" = 1'-0" REFERENCE ON: S1.1

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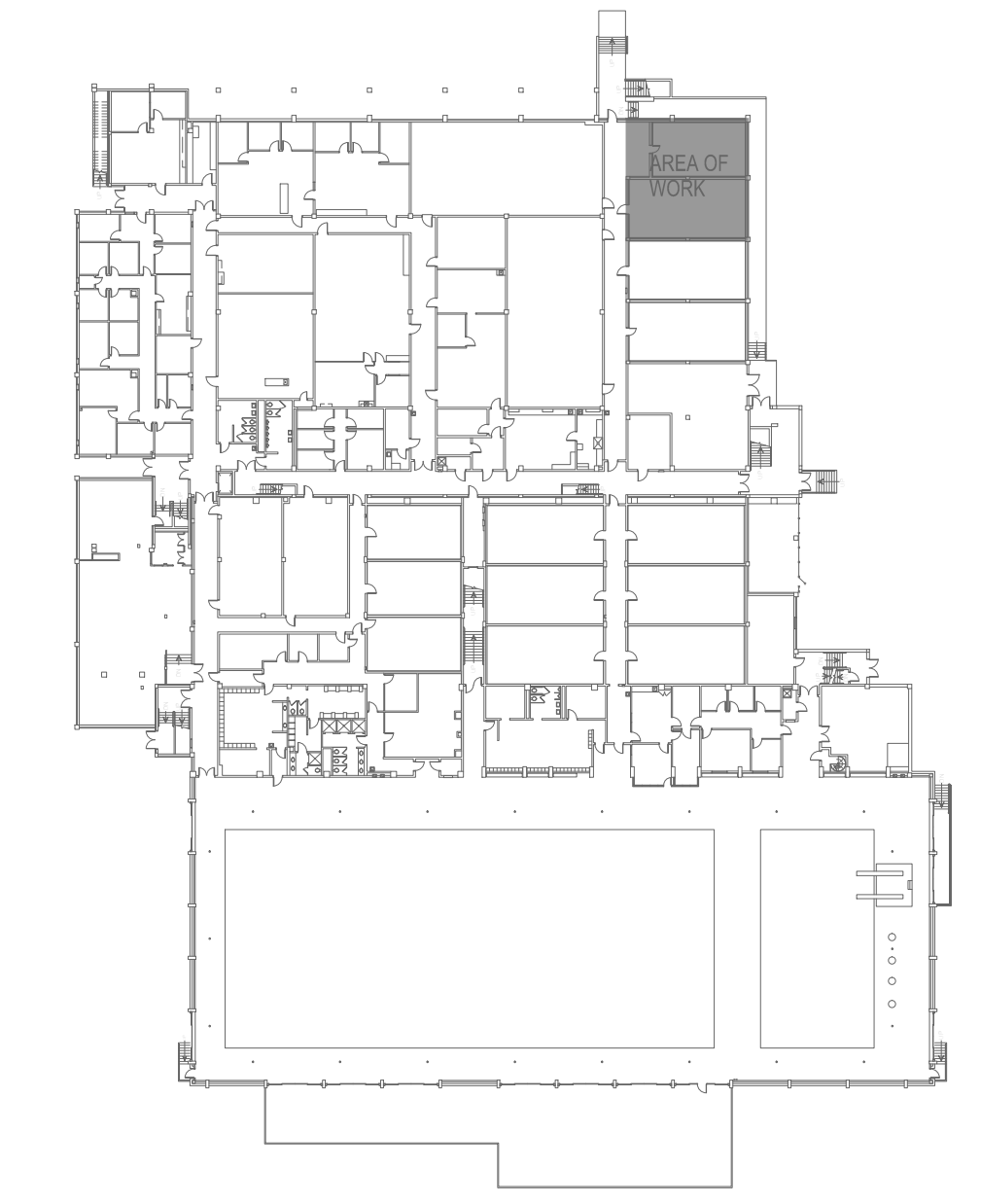


1 FIRST FLOOR DEMOLITION PLAN
M1.1 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
M1.1 SCALE: 1/4" = 1'-0"

KEY PLAN
NO SCALE



Swygert & Associates
CONSULTING ENGINEERS
DBA Swygert & Assoc., Ltd. Telephone: (803) 791-9300
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mail@swygert-associates.com

PROJECT NO. 0307.14
DATE 05.07.14
DRAWING NO. **M1.1**

DRAWING TITLE
FIRST FLOOR PLANS

DRAWN BY BJJ
CHECKED BY BJJ
DATE

REVISIONS	NO.	NAME	DATE

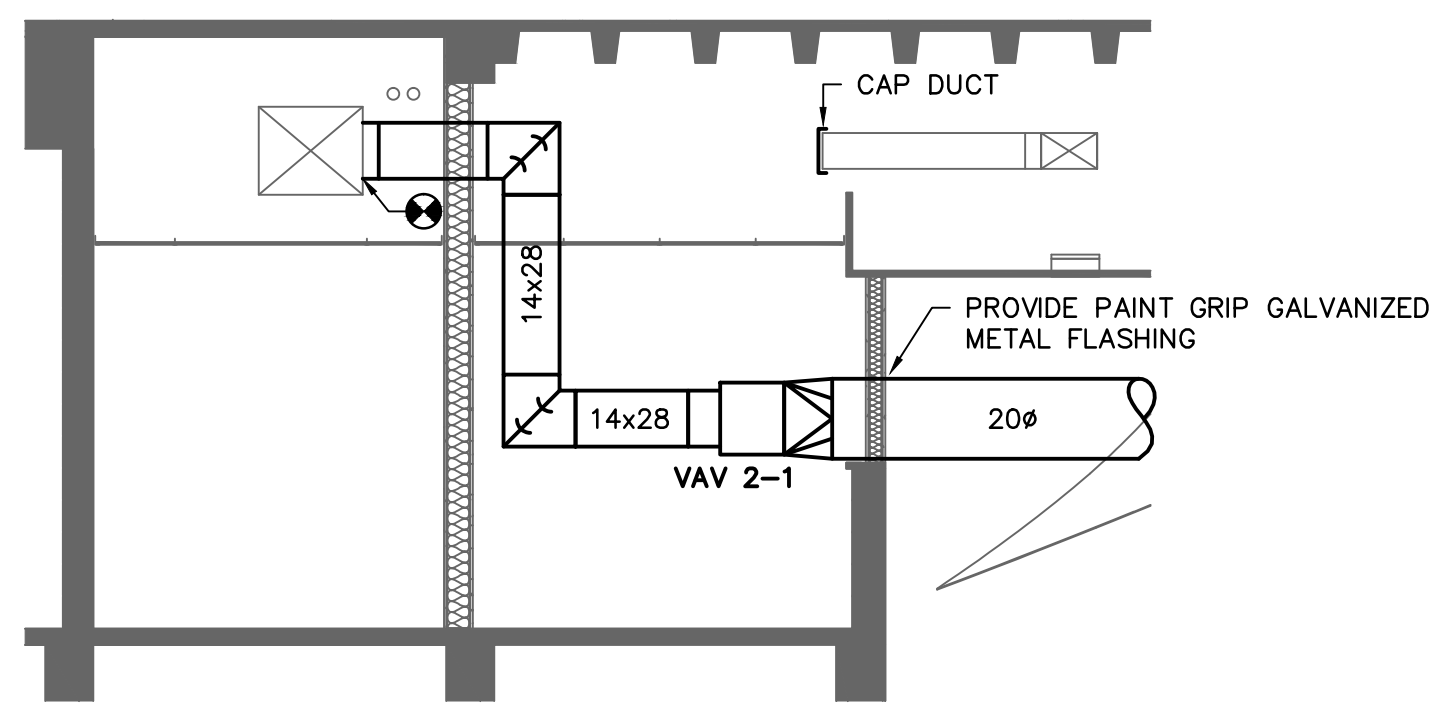
PROJECT TITLE
CONVERT THE SQUASH/BALL CT INTO BIKE SHOP
1300 Wheat Street
Columbia, SC 29208
Project No.: HZ7-2134

A/E SEAL
Professional Engineer Seal for Swygert & Associates, Inc., State of South Carolina, License No. 00027.
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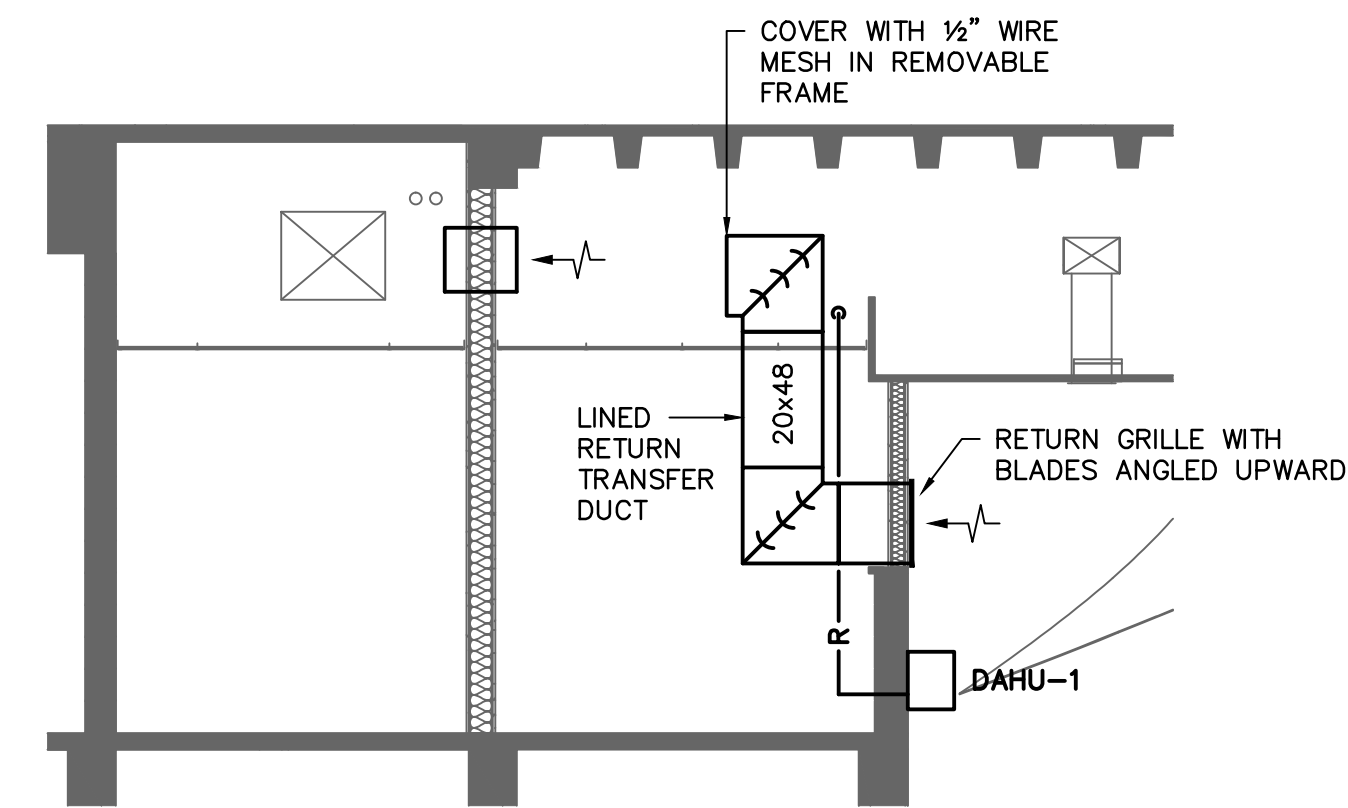
GARVIN DESIGN GROUP
803.212.1032 p / 803.212.1034 f
1209 Lincoln Street P.O. Box 18 Columbia, SC 29202

DEMOLITION NOTES

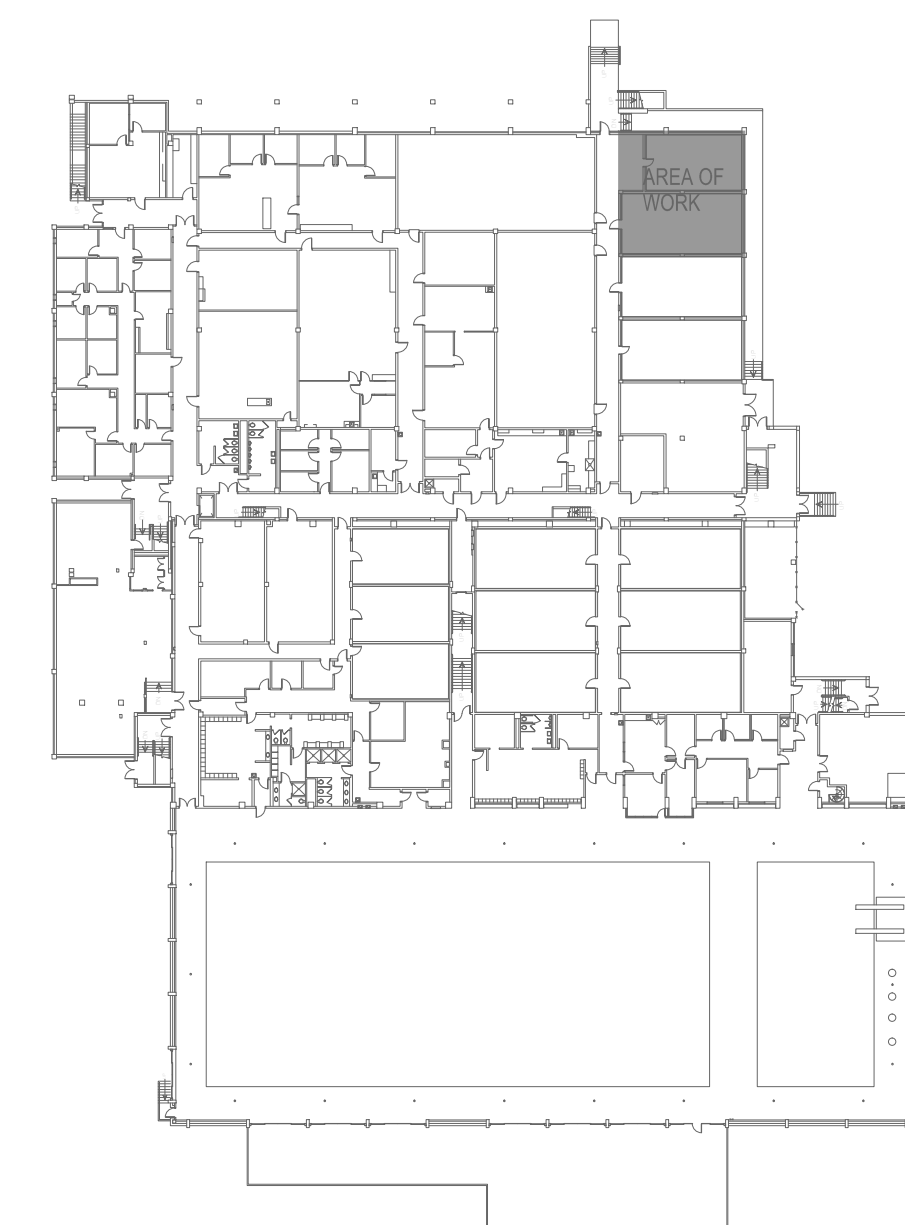
- 1 REMOVE CEILING DIFFUSER.
- 2 REMOVE DUCT AS SHOWN AND CAP AT MAIN TRUNK. PATCH DUCT INSULATION AT MAIN TRUNK TO MATCH EXISTING.
- 3 REMOVE DUCT MOUNTED HOT WATER COIL COMPLETE AND CAP SUPPLY AND RETURN PIPING AT MAINS. REPAIR PIPING INSULATION TO MATCH EXISTING.
- 4 REMOVE WALL SENSOR AND GUARD AND COVER WALL BOX WITH BLANK PLATE.
- 5 BLANK OFF EXISTING CEILING DIFFUSER WITH PAINT GRIP GALVANIZED METAL.



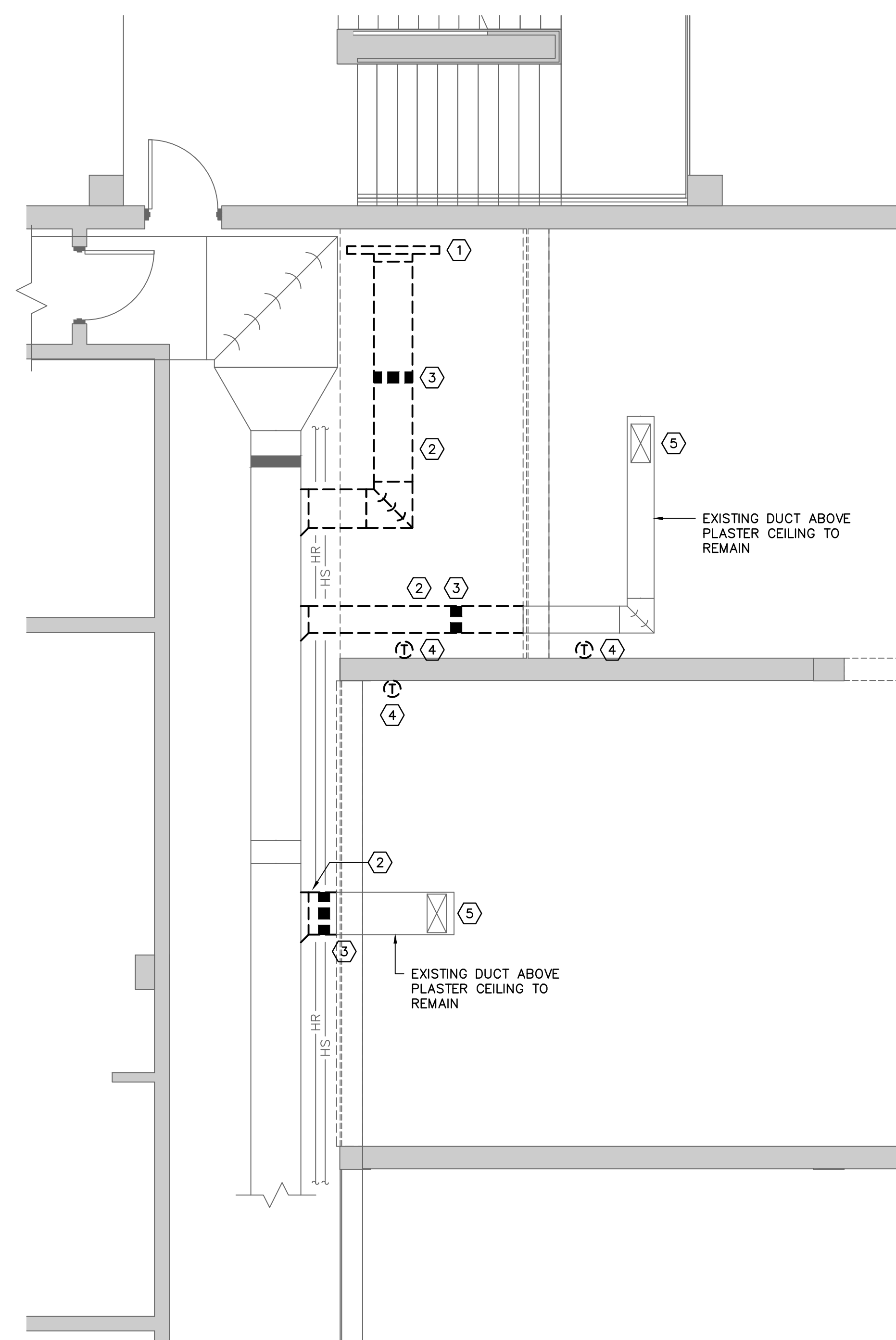
3 SECTION
SCALE: 1/4" = 1'-0"



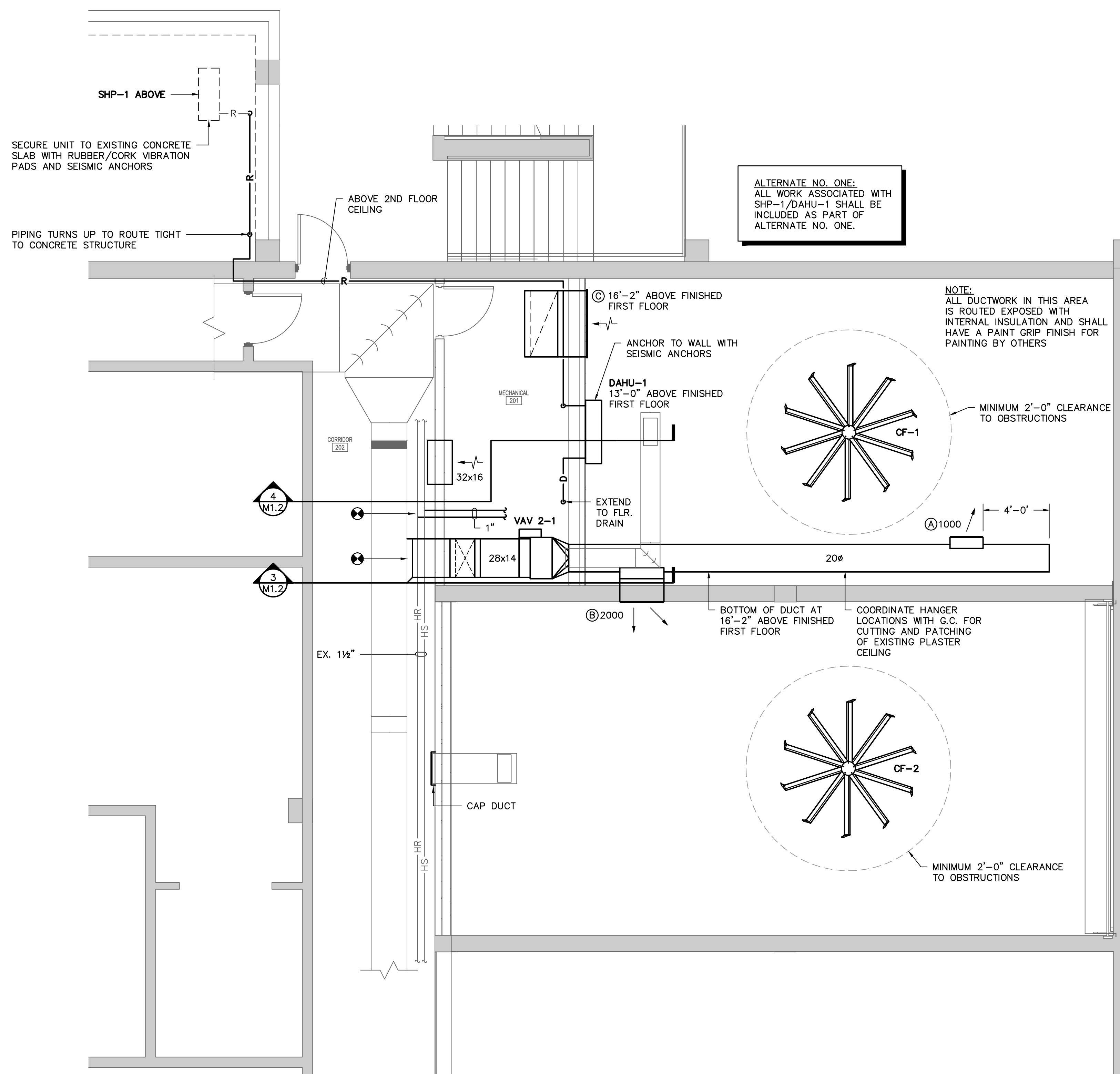
4 SECTION
SCALE: 1/4" = 1'-0"



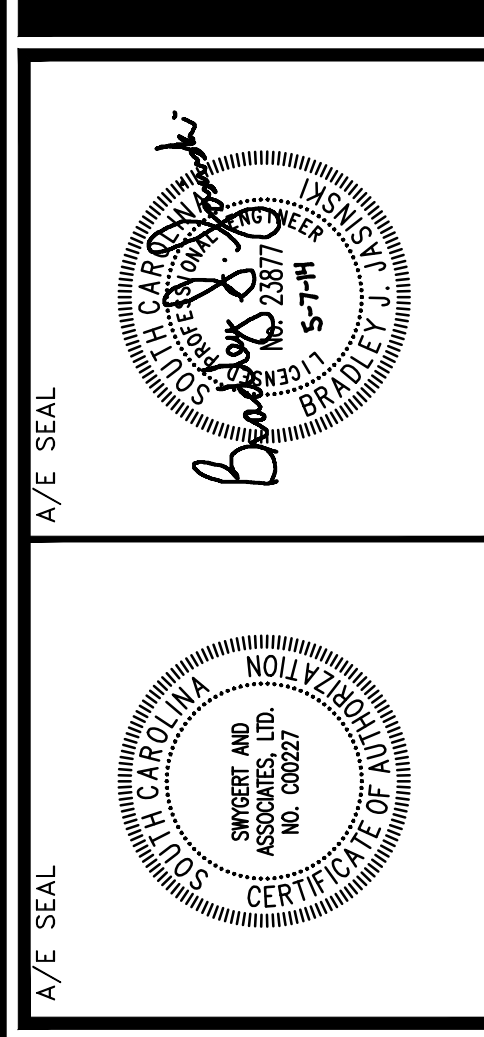
KEY PLAN
NO SCALE



1 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROJECT TITLE
CONVERT THE SQUASH/BALL CT INTO BIKE SHOP
1300 Wheat Street
Columbia, SC 29208
Project No.: HZ7-2134

REVISIONS	NO.	NAME	DATE

DRAWN BY BJJ
CHECKED BY BJJ

DRAWING TITLE
SECOND FLOOR PLANS

PROJECT NO. HZ7-2134
DATE 05.07.14
DRAWING NO. M1.2

Swygert & Associates
CONSULTING ENGINEERS
DBA Swygert & Assoc., Ltd. Telephone: (803) 791-9300
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DUCTLESS SPLIT SYSTEM HEAT PUMP SCHEDULE						
TAG	MITSUBISHI MODEL COND. UNIT/DAHU	COOLING CAP. MBH @ 80/67/95	HTG. CAP. MBH @ 47F	AIRFLOW CFM	SEER/HSPF	REMARKS
SHP-1/DAHU-1	PUZ-A36NH4/PKA-A36KA4	34.2	37.0	920	14.0/9.3	1,2

- PROVIDE SINGLE POINT POWER CONNECTION AT CONDENSING UNIT, LOW AMBIENT COOLING TO 23°F, THERMAL EXPANSION VALVE, AND HARD WIRED WALL MOUNTED PROGRAMMABLE THERMOSTAT.
- PROVIDE AS PART OF ALTERNATE NO. ONE.

SINGLE DUCT TERMINAL UNIT SCHEDULE									
TAG	ENVIRO-TEC MODEL	AIR INLET (INCHES)	CFM		HEATING COIL		COIL FLUID P.D. FT. W.G.	MAX. UNIT P.D. INCHES W.C.	REMARKS
			MAX./MIN.	HEATING	MBH	GPM			
2-1	SDR 19	28x14	3,000/1200	3,000	114	4.0	0.82	0.31	1,2

- HEATING COIL SELECTION BASED ON 180°F EWT WITH 30°F DROP.
- PROVIDE FACTORY MOUNTING OF CONTROLS BY JOHNSON CONTROLS.

AIR DISTRIBUTION SCHEDULE									
TAG	DESCRIPTION	MANUFACTURER	MODEL	FRAME	CFM	NECK SIZE	FACE SIZE	MAX. NC	REMARKS
(A)	LOUVERED FACE SUPPLY	PRICE	620	SURFACE	1000	22"x10"	24"x12"	30	1,2,3,4
(B)	LOUVERED FACE SUPPLY	PRICE	620	SURFACE	2000	30"x14"	32"x16"	30	1,2,3,4
(C)	LOUVERED FACE RETURN	PRICE	96	SURFACE	3000	48"x20"	50"x22"	30	1

- PROVIDE WITH STANDARD WHITE FINISH.
- PROVIDE ALUMINUM OR ALUMINIZED STEEL CONSTRUCTION.
- PROVIDE WITH FACE ADJUSTABLE OPPOSED BLADE DAMPER.
- PROVIDE WITH DOUBLE DEFLECTION BLADES.

EXHAUST FAN SCHEDULE							
TAG	GREENHECK MODEL NO.	TYPE	CFM	ESP	MOTOR H.P./W	SONES (MAX.)	REMARKS
EF-1	SP-B110	CEILING	70	0.375	100	1.0	1,2

- PROVIDE WITH CEILING GRILLE, BACKDRAFT DAMPER, DISCONNECT SWITCH, AND SPEED CONTROL MOUNTED ON FAN.
- ELECTRICAL CONTRACTOR TO INTERLOCK WITH LIGHT SWITCH.

CEILING FAN SCHEDULE (OWNER FURNISHED)				
TAG	BIG ASS FAN MODEL	MOTOR HP	SIZE	REMARKS
CF-1,2	ESSENCE SERIES	1	8'-0"	1,2,3,4

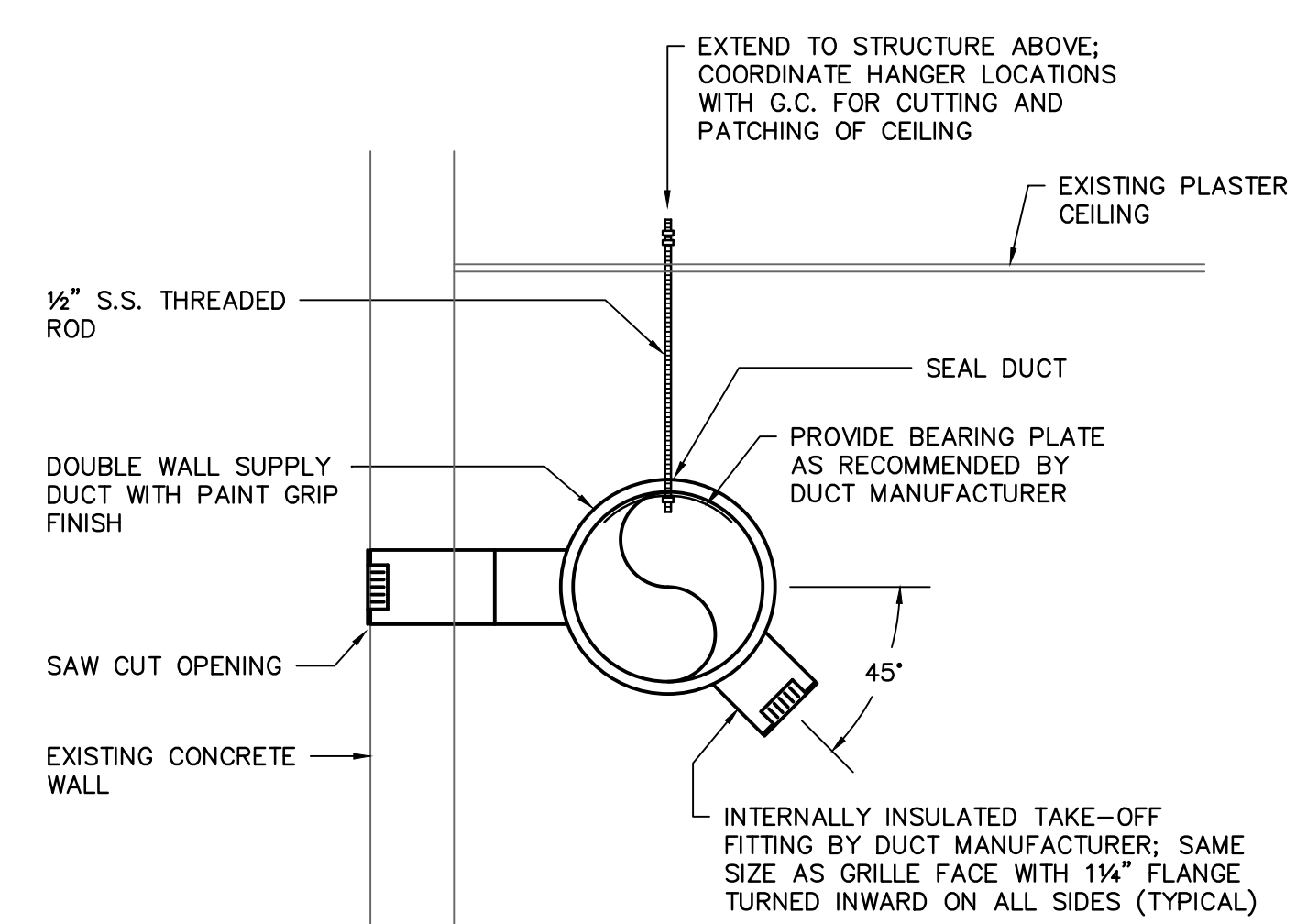
- PROVIDE SILVER WITH BLACK TRIM FINISH AND WIRELESS WALL CONTROLLER.
- PROVIDE ALL REQUIRED MOUNTING HARDWARE FOR INSTALLATION ON EXPOSED CONCRETE STRUCTURE.
- PROVIDE GUY WIRES AND EXTENSION TUBE OF REQUIRED LENGTH TO INSTALL FAN APPROXIMATELY 14'-0" ABOVE FINISHED FLOOR.
- SHOWN FOR INFORMATION PURPOSES ONLY. CEILING FANS SHALL BE FURNISHED BY OWNER FOR INSTALLATION BY THIS CONTRACTOR.

- ### GENERAL NOTES
- VISIT SITE PRIOR TO BIDDING. THIS CONTRACTOR SHALL DETERMINE DIFFICULTY OF INSTALLATION AND REFLECT THIS IN HIS BIDDING.
 - DO NOT SCALE DRAWINGS. THIS CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND LOCATIONS IN THE FIELD.
 - EXISTING PIPE, DUCTWORK, CONDUIT, ETC. THAT INTERFERES WITH THE ROUTING OF NEW SYSTEMS SHALL BE RELOCATED. THIS CONTRACTOR SHALL INCLUDE THE COST OF SUCH IN HIS BID UNLESS NOTED OTHERWISE.
 - WATER SYSTEMS SHALL BE DRAINED BY THIS CONTRACTOR AS REQUIRED FOR INSTALLATION OF WORK. UPON COMPLETION, SYSTEM SHALL BE FILLED WITH WATER AND VENTED OF ALL AIR.
 - ALL PIPING AND DUCTWORK INSULATION SHALL BE RUN CONTINUOUSLY THROUGH FLOORS AND PARTITIONS.
 - ALL PIPING IS SHOWN DIAGRAMMATIC. HOWEVER, THIS CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS, PIPING AND INSULATION FOR ALL OFFSETS AND/OR CHANGES IN ELEVATION.
 - ALL WATER PIPING SHALL PITCH DOWN IN DIRECTION OF FLOW ONE-INCH PER FIFTY FEET WITH MANUAL AIR VENTS AT ALL HIGH POINTS AND 3/4-INCH DRAIN VALVES WITH STANDARD HOSE CONNECTION AT ALL LOW POINTS.
 - ALL VALVES AND SPECIALTIES SHALL BE LINE SIZE UNLESS NOTED OTHERWISE. USE ECCENTRIC REDUCERS ON AUTOMATIC VALVES AS REQUIRED.
 - MINIMUM PIPE SIZE SHALL BE 3/4-INCH UNLESS INDICATED OTHERWISE.
 - ALL PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH THE 2012 IMC AND FURTHER SUPPORTS OR HANGERS SHALL BE PROVIDED TO PREVENT WEIGHT OF PIPING BEING PLACED ON EQUIPMENT.
 - PROVIDE FOR ACCESS TO ALL EQUIPMENT REQUIRING CLEANING OR ADJUSTMENT.
 - THIS CONTRACTOR SHALL PROVIDE ALL ITEMS OF MISCELLANEOUS STEEL AS REQUIRED FOR INSTALLATION OF ALL MECHANICAL ITEMS.
 - REMOVAL AND REPLACEMENT OF CEILING, AS REQUIRED FOR INSTALLATION OF NEW WORK, SHALL BE DONE BY THIS CONTRACTOR. ANY DAMAGED CEILING SHALL BE REAPPLIED WITH NEW GRID AND NEW TILE.
 - THIS CONTRACTOR SHALL INCLUDE CONTROLS BY JOHNSON CONTROLS IN THE BASE BID.
 - LOCATE ALL SPACE CONTROL INSTRUMENTS 4'-0" ABOVE FINISHED FLOOR TO TOP OF DEVICE.
 - THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DISMANTLING OF EQUIPMENT TO BE REMOVED. ITEMS REMOVED UNDER THIS CONTRACT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY.
 - THIS CONTRACTOR SHALL PATCH ALL WALLS AND FINISHES TO MATCH EXISTING WHERE ALL ITEMS OR EQUIPMENT ARE REMOVED.

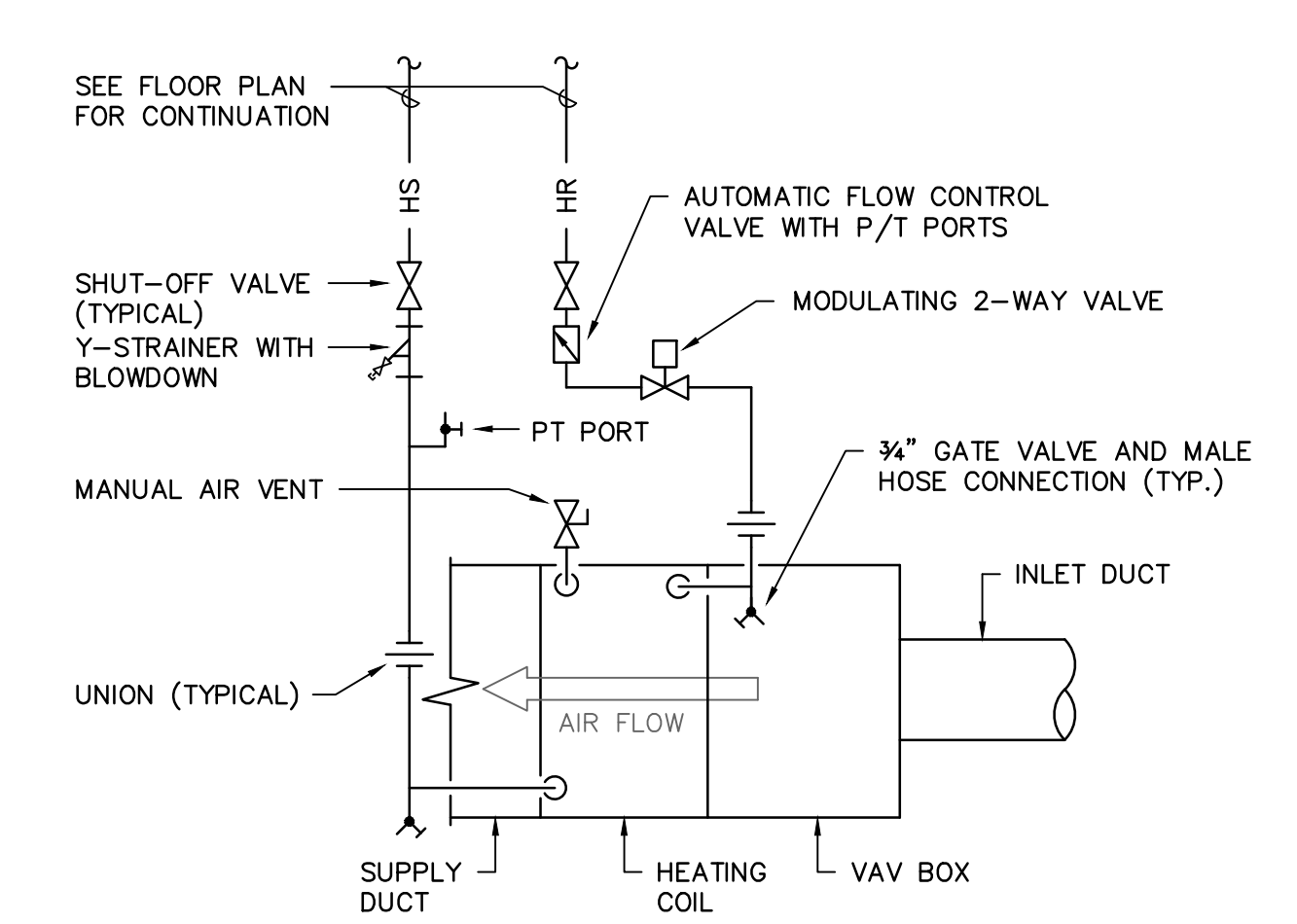
LEGEND

SYMBOL	DESCRIPTION
HS	HOT WATER SUPPLY LINE
HR	HOT WATER RETURN LINE
R	REFRIGERANT LINES
D	DRAIN LINE
Ball Valve Symbol	BALL VALVE
Turns to Away Symbol	PIPE TURNS TO, AWAY
Thermostat Symbol	THERMOSTAT
Fan Switch Symbol	FAN SWITCH
Rectangular Supply Ductwork Symbol	RECTANGULAR SUPPLY DUCTWORK
48x24	48"x24" RECTANGULAR DUCT
FD	FIRE DAMPER
Connection Point Symbol	CONNECTION POINT OF NEW TO EXISTING

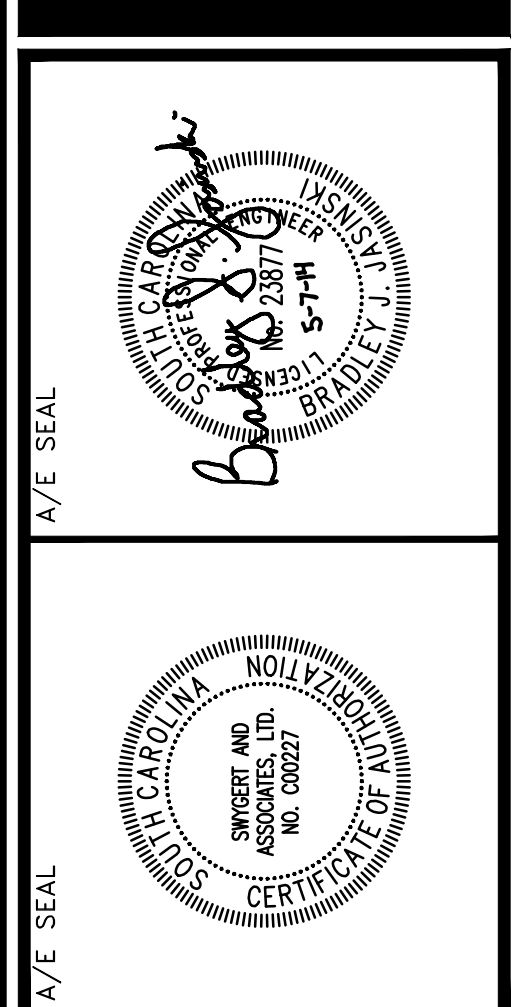
- ### CONTROLS
- CONTACT JOHNSON CONTROLS FOR CONTROLS AND WIRING. ALL NEW CONTROLS SHALL BE DDC, INCLUDING SENSORS, CONTROLLERS AND CONTROL VALVES. NEW VAV BOXES WILL INCLUDE NEW CONTROLLERS AND SENSORS, BUT WILL NOT BE CONNECTED TO THE CENTRAL ENERGY MANAGEMENT SYSTEM. CONTROLLERS WILL BE COMPATIBLE FOR CONNECTION AT A FUTURE DATE. CONTROL WIRING SHALL BE RUN IN EMT CONDUIT AND SHALL BE PLENUM RATED CABLE, IN A PROTECTIVE COVER.
 - AS PART OF ALTERNATE NO. ONE PROVIDE ALL REQUIRED DOOR SENSORS, RELAYS, AND INTERLOCK WIRING TO DISABLE SHP-1/DAHU-1 WHEN THE OVERHEAD IS OPEN.



EXPOSED SPIRAL DUCT DETAIL
NO SCALE



HEATING COIL PIPING DETAIL
NO SCALE



PROJECT TITLE
CONVERT THE SQUASH/BALL CT INTO BIKE SHOP
 1300 Wheat Street
 Columbia, SC 29208
 Project No.: HZ7-2134

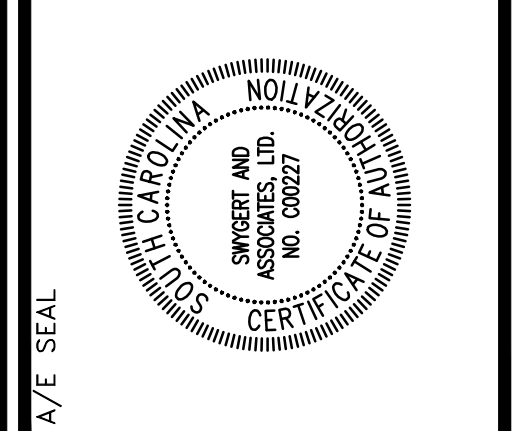
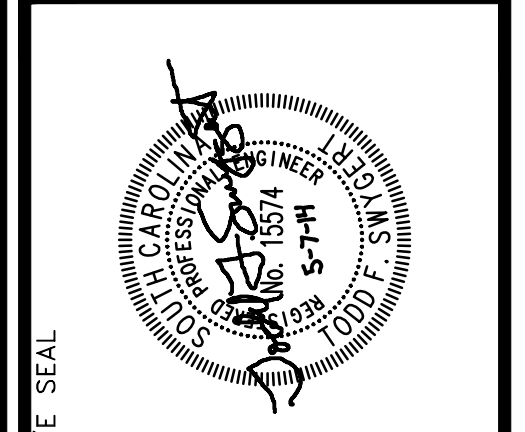
REVISIONS	NO.	NAME	DATE

DRAWN BY BJJ
CHECKED BY BJJ

DRAWING TITLE
DETAILS, NOTES, SCHEDULES, AND LEGEND

Swygert & Associates
 CONSULTING ENGINEERS
 DBA Swygert & Assoc., Ltd. Telephone: (803) 791-9300
 Post Office Box 11886 Columbia, S.C. 29211 Facsimile: (803) 791-0830
 email: swygert@swygert-associates.com

PROJECT NO. 05.07.14
DATE 05.07.14
DRAWING NO. M2.1



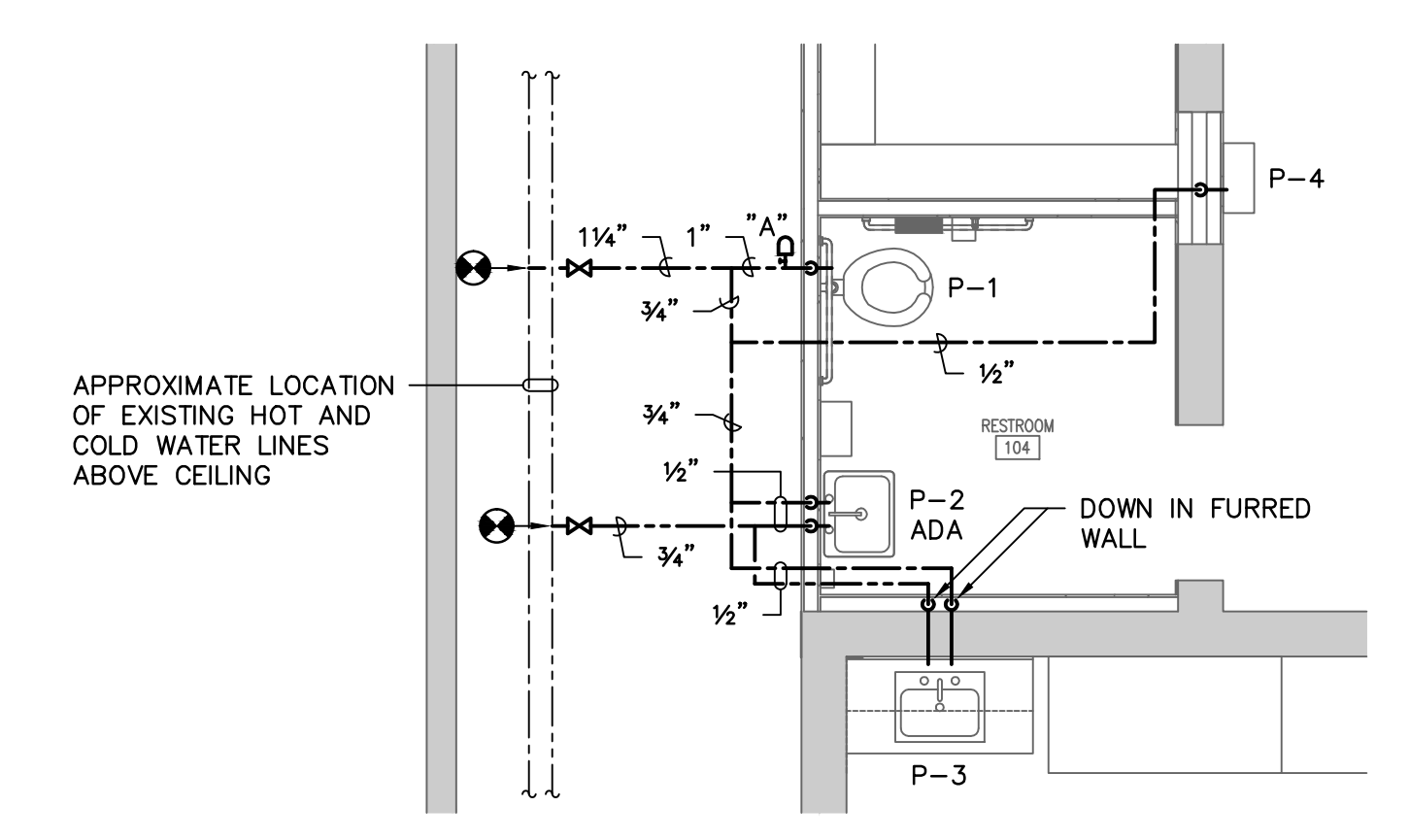
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CONVERT THE SQUASH/BALL CT INTO BIKE SHOP
 1300 Wheat Street
 Columbia, SC 29208
 Project No.: HZ7-Z134

REVISIONS	DATE
NO. NAME	

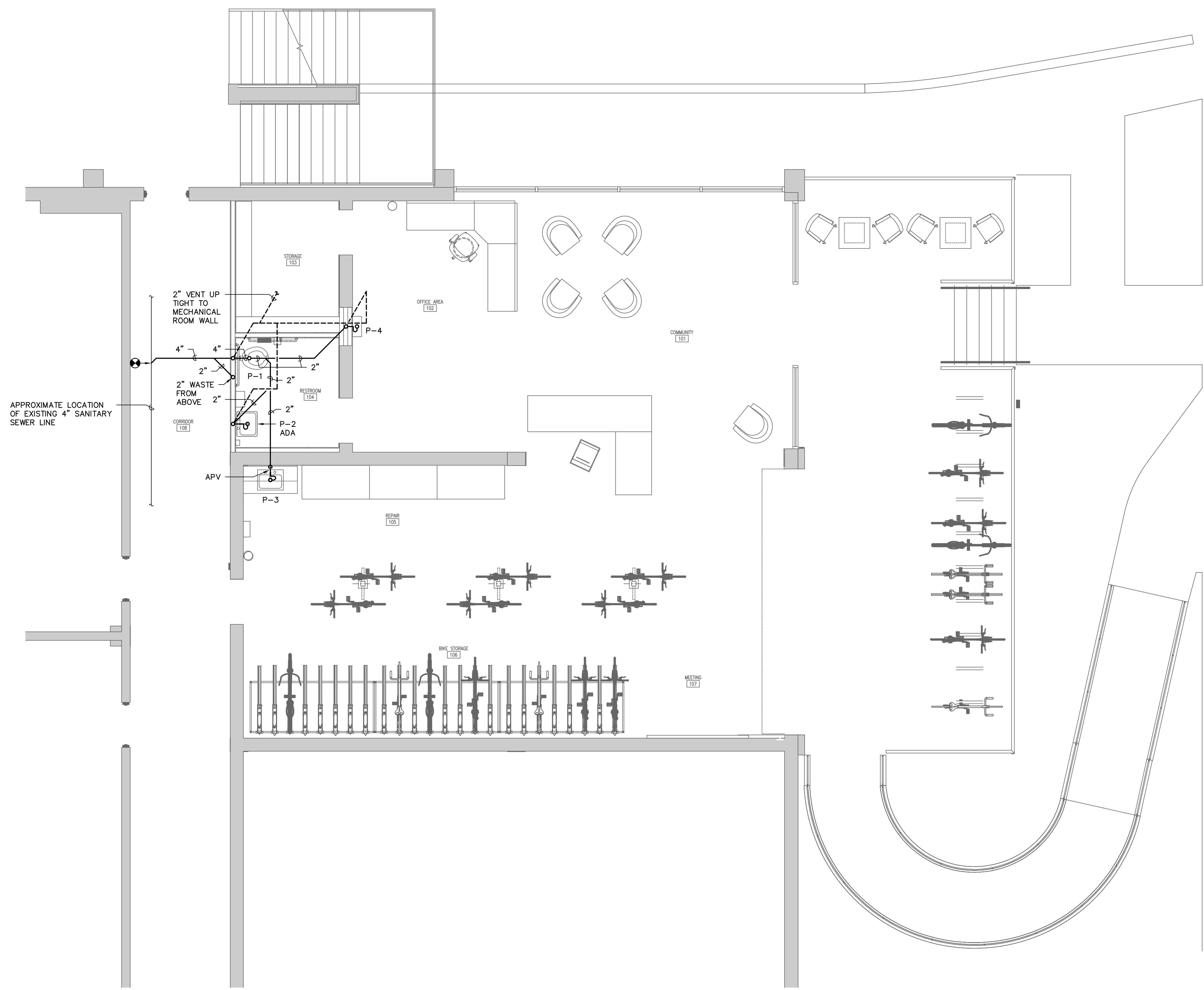
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DRAWING TITLE
FIRST FLOOR PLANS

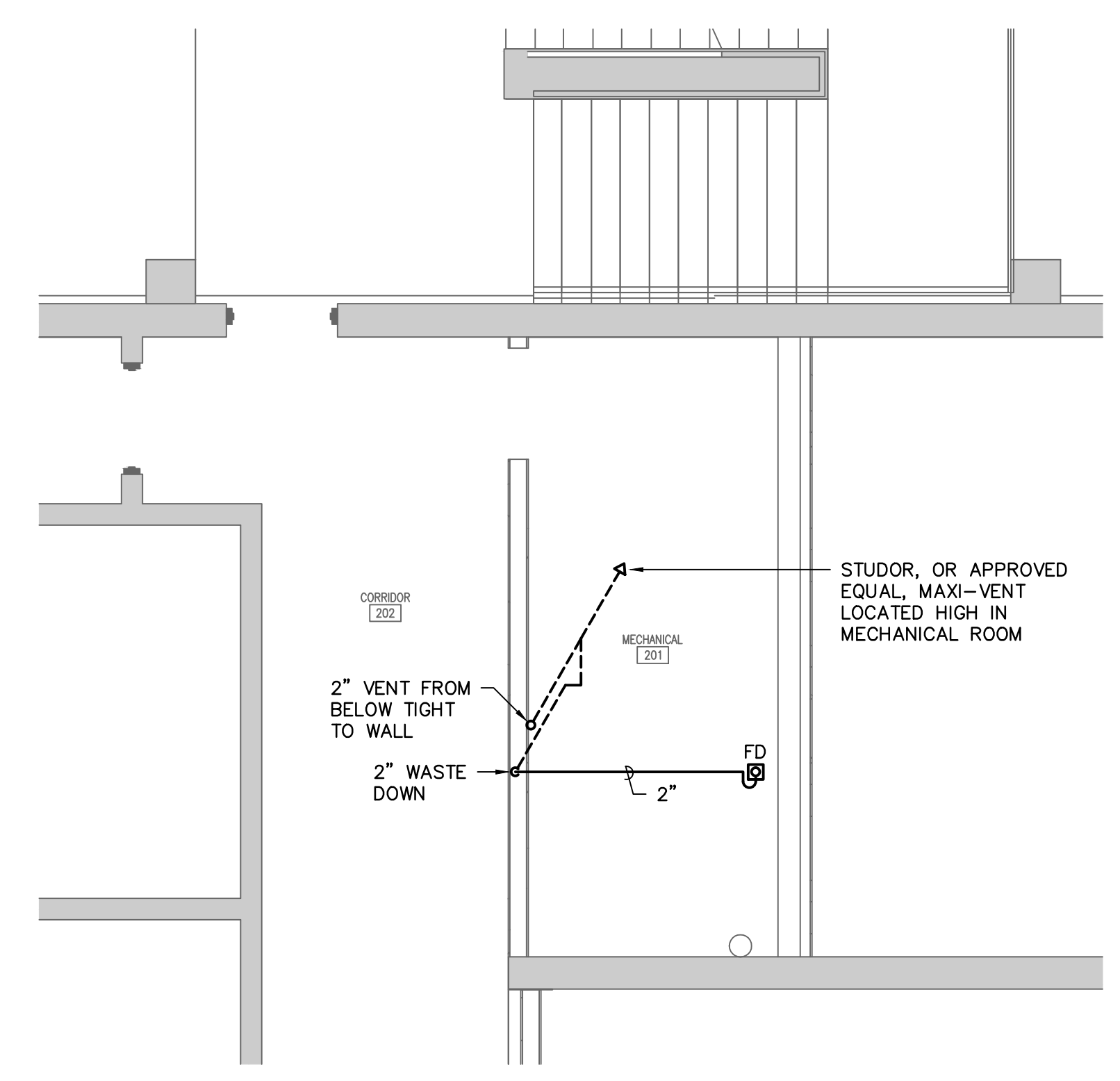
PROJECT NO. 1307-14
DATE 05.07.14
DRAWING NO.
P1.1



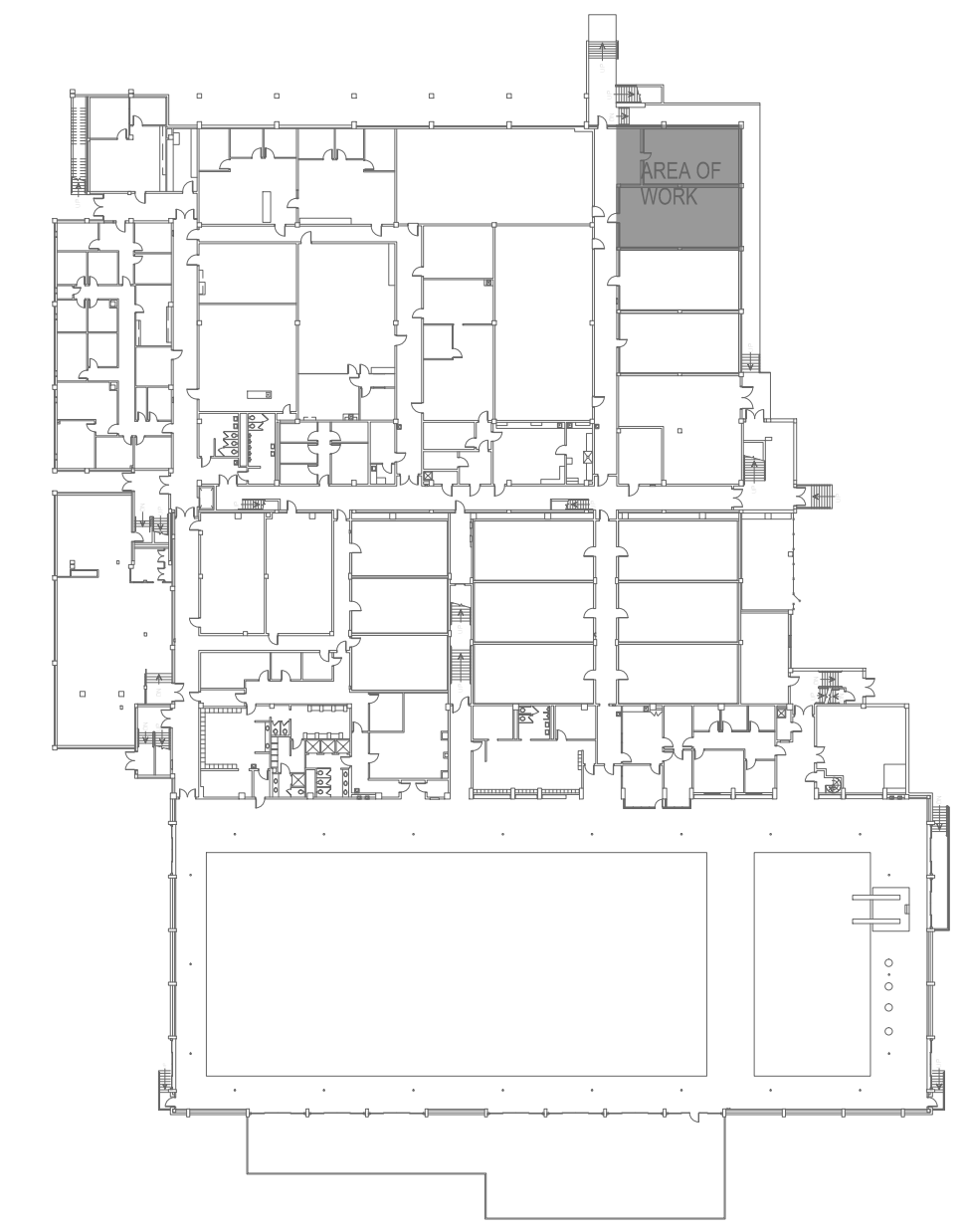
2 SUPPLY PIPING PARTIAL FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



3 PARTIAL SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



KEY PLAN
 NO SCALE

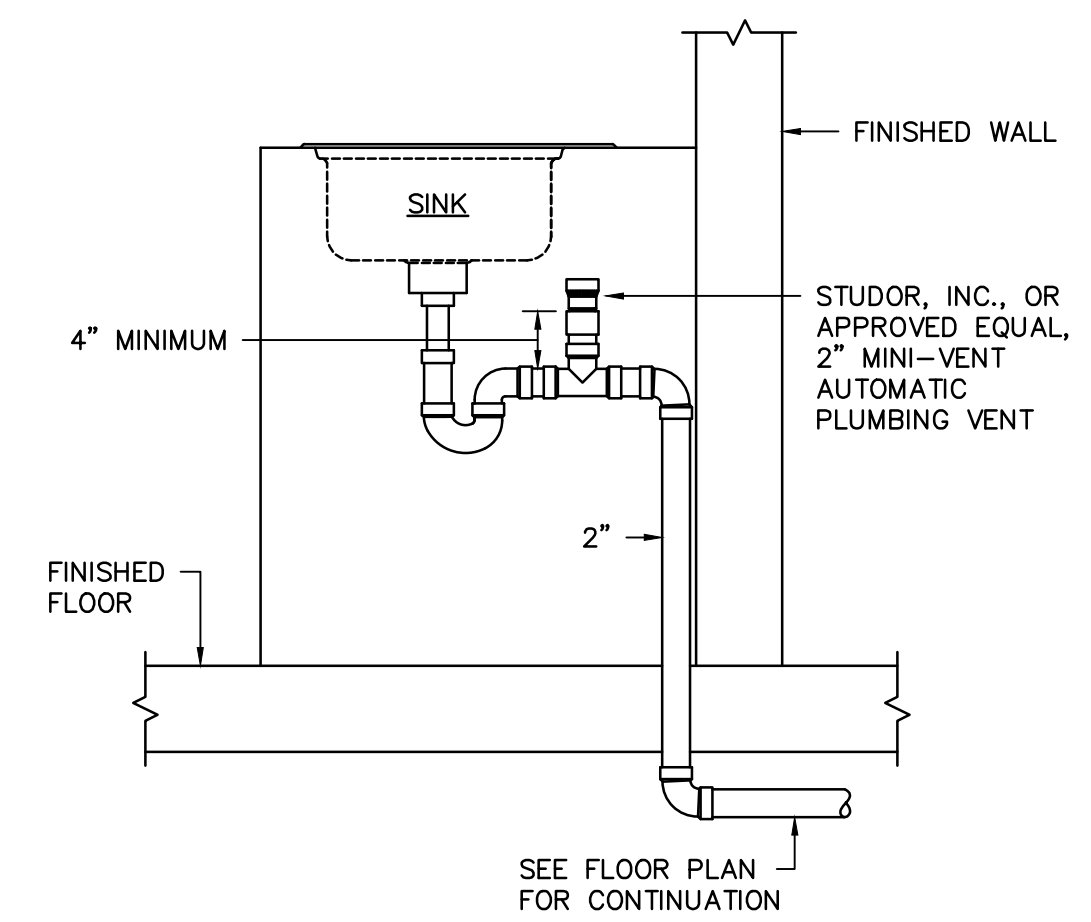
Swygart & Associates
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PLUMBING FIXTURE SCHEDULE								
P. NO.	FIXTURE	MFG.	NAME	MFGS. NO.	SIZE	MIN. SUPPLY		REMARKS
						CW	HW	
P-1	ACCESSIBLE WATER CLOSET	KOHLER	HIGHLINE	K-4405	---	1"	---	WITH SLOAN MODEL 111-1.28 FLUSH VALVE, BENEKE 527 SEAT, AND BOLT CAPS.
P-2	LAVATORY	KOHLER	HUDSON	K-2867	20"x18"	3/8"	3/8"	WITH DELTA MODEL 501LF-HDF FAUCET, MCGUIRE 155A GRID DRAIN, MCGUIRE H165 3/8" CAST BRASS SUPPLIES WITH STOPS, AND MCGUIRE 8872 1-1/2" P-TRAP, MOUNT PER ADA REQUIREMENTS.
P-3	SINK	ELKAY	GOURMET	ELUHAD-21155SPD	23 1/2"x18 1/4"	1/2"	1/2"	UNDERCOUNTER MOUNTED WITH SPEAKMAN MODEL SC-3004-LD FAUCET, LK-35 CUP STRAINER, MCGUIRE H2167 1/2" CAST BRASS SUPPLY WITH STOPS, AND MCGUIRE 8912 1-1/2" P-TRAP.
P-4	BOTTLE FILLING STATION	ELKAY	---	LZWSSM	---	1/2"	---	WITH MCGUIRE H2167 1/2" CAST BRASS SUPPLY WITH STOP, AND MCGUIRE 8972 1-1/4" P-TRAP.
FD	FLOOR DRAIN	ZURN	---	ZN-415-B	---	---	---	WITH 5"Ø ROUND NICKLE BRONZE STRAINER, P-TRAP, AND TRAP GUARD BY PROSET, OR APPROVED EQUAL.

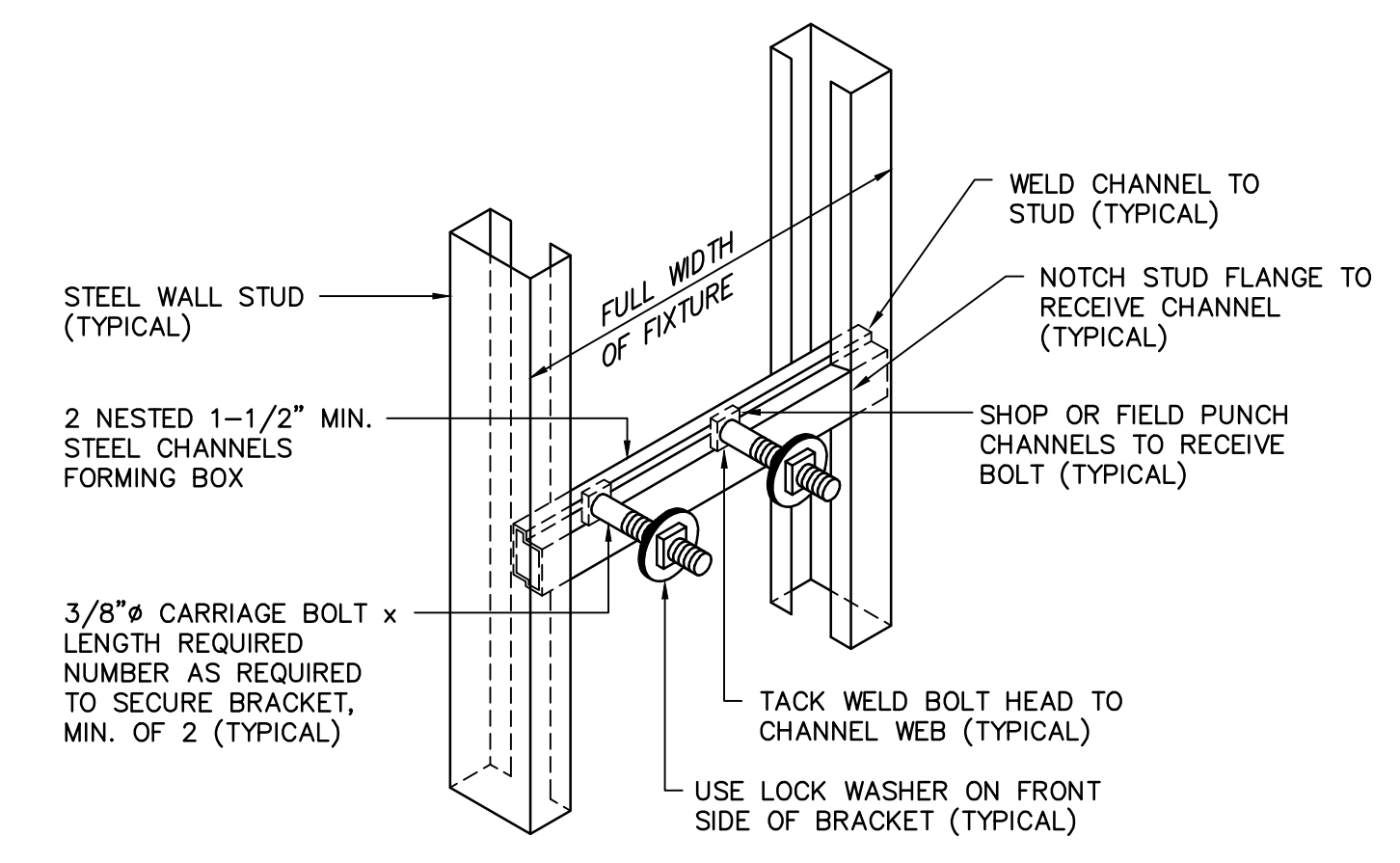
- ### GENERAL NOTES
- ALL WORK SHALL BE PERFORMED ACCORDING TO ALL LOCAL, STATE, NATIONAL CODES, AND THE 2012 INTERNATIONAL PLUMBING CODE.
 - DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS, FIXTURE LOCATIONS, ETC.
 - EXCEPT WHERE PIPE SPACE IS PROVIDED OR UNLESS NOTED OTHERWISE, ALL SUPPLY, WASTE AND VENT RISERS SHALL BE RUN IN WALLS AND PARTITIONS.
 - COORDINATE CLOSELY WITH ALL WORK DONE UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID INTERFERENCE AND CONFLICT.
 - EXPOSED WASTE AND WATER PIPING UNDER LAVATORIES MARKED "ADA" SHALL BE INSULATED WITH HANDI-LAY-GUARD KIT MODEL NUMBER 102W AS MANUFACTURED BY TRUEBRO, INC., OR APPROVED EQUAL.
 - ALL PIPING INSULATION SHALL BE RUN CONTINUOUSLY.
 - REMOVAL AND REPLACEMENT OF CEILING, AS REQUIRED FOR INSTALLATION OF NEW WORK, SHALL BE DONE BY THIS CONTRACTOR. ANY CEILING GRID OR TILE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AT NO COST TO THE OWNER.
 - EXISTING FLOOR SLAB SHALL BE "SAW-CUT" FOR INSTALLATION OF NEW SEWER LINES. THIS CONTRACTOR SHALL PATCH AND FILL FOR CONCRETE FINISH BY OTHERS.

LEGEND

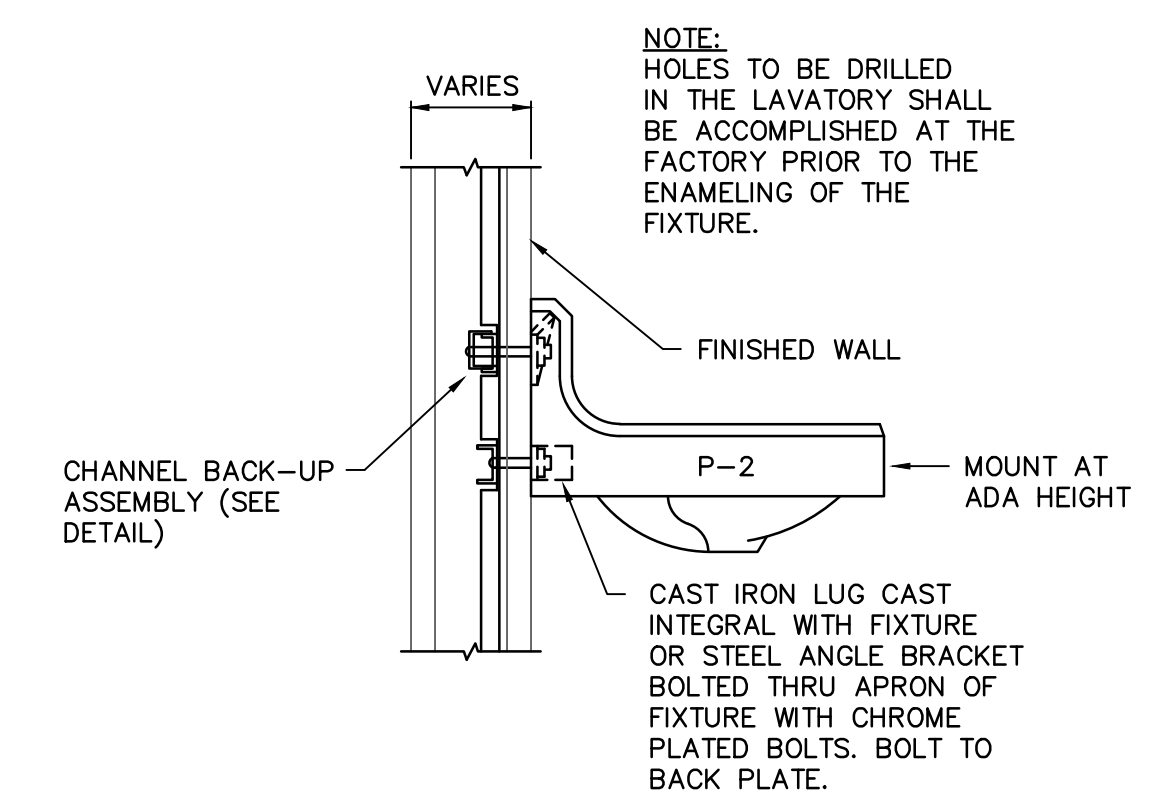
SYMBOL	DESCRIPTION
	SANITARY WASTE LINE
	SANITARY VENT LINE
	DOMESTIC COLD WATER LINE
	DOMESTIC HOT WATER LINE
	SHUTOFF VALVE
	SHOCK ARRESTOR (P.D.I. RATING OF "A")
	PIPE TURNS TO, AWAY
ADA	FIXTURE FOR USE ACCORDING TO THE AMERICANS WITH DISABILITIES ACT
APV	AUTOMATIC PLUMBING VENT
	CONNECTION POINT OF NEW TO EXISTING



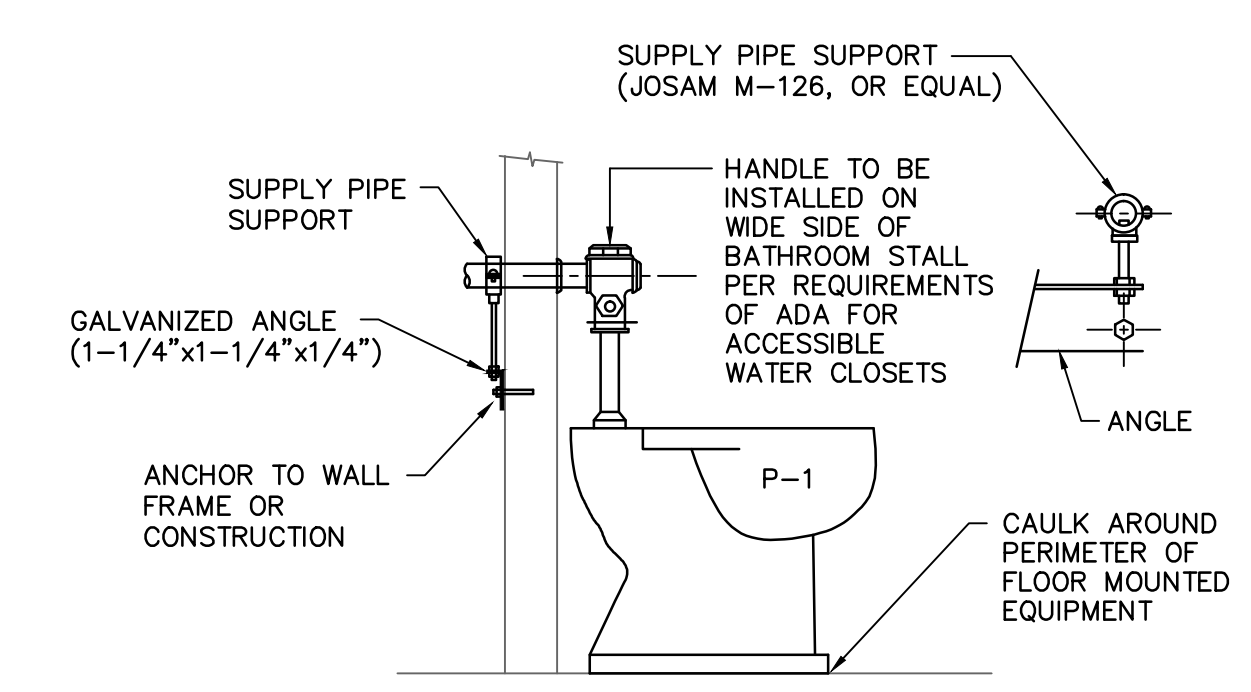
AUTOMATIC PLUMBING VENT
NO SCALE



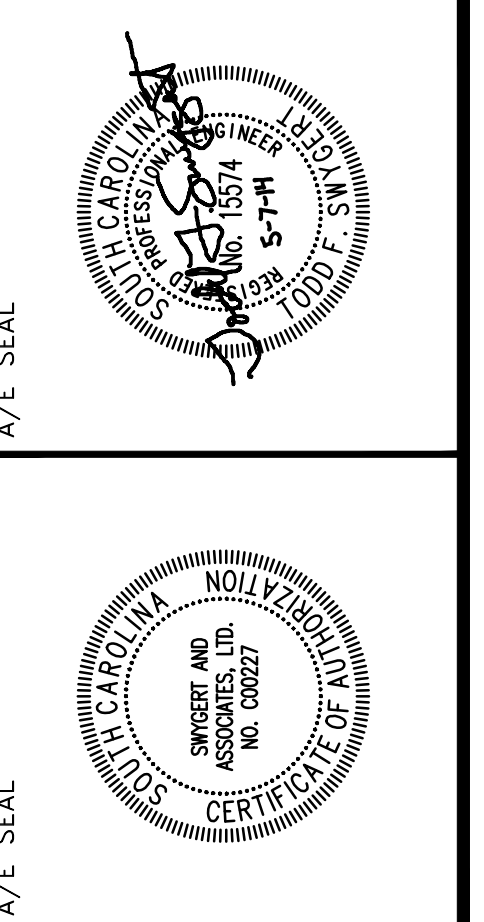
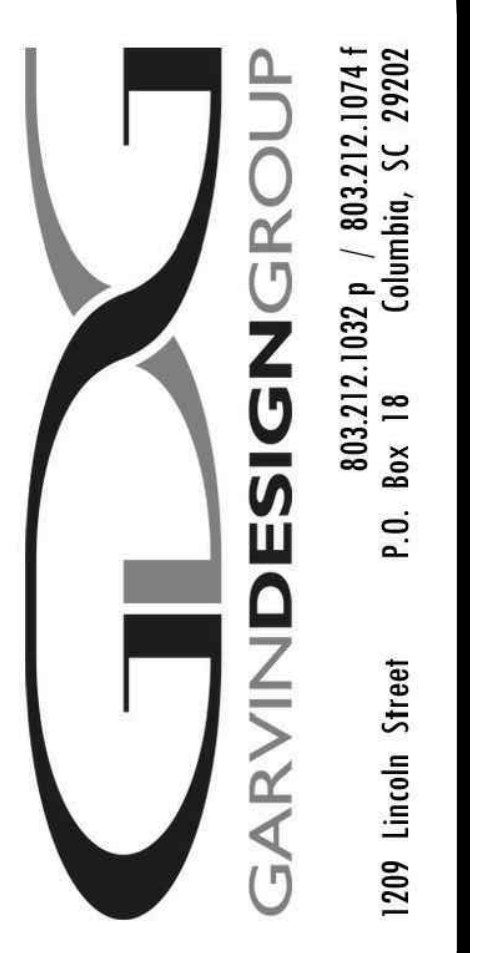
CHANNEL BACK-UP ASSEMBLY
NO SCALE



LAVATORY MOUNTING DETAIL
NO SCALE



WATER CLOSET SUPPLY DETAIL
NO SCALE



PROJECT TITLE
CONVERT THE SQUASH/BALL CT INTO BIKE SHOP
 1300 Wheat Street
 Columbia, SC 29208
 Project No.: HZ-7-134

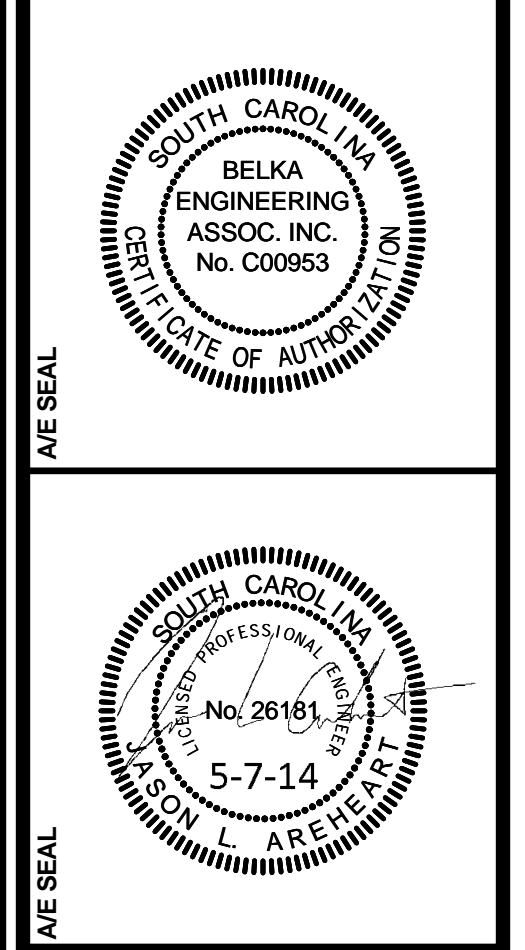
REVISIONS	NO.	NAME	DATE

DRAWN BY
CHECKED BY
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DRAWING TITLE
DETAILS, NOTES, SCHEDULE, AND LEGEND

Swygert & Associates
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 Columbia, S.C. 29211 mail@swygert-associates.com

PROJECT NO. 05.07.14
DATE 05.07.14
DRAWING NO. **P2.1**



PROJECT TITLE
 CONVERT THE SQUASH/BALL CT INTO
 BIKE SHOP
 1300 WHEAT STREET
 COLUMBIA, SC 29208
 Project No.: HZ7-Z194

NO.	REVISIONS	DATE

DRAWN BY: JJS
CHECKED BY: JJA

DRAWING TITLE
 ELECTRICAL DEMOLITION PLANS

PROJECT NO. GA21402
DATE 08/14/14
DRAWING NO. E1.0

ELECTRICAL SYMBOL LEGEND

<p>A LIGHTING FIXTURES (SEE LIGHTING FIXTURE SCHEDULE) (LETTER DENOTES TYPE, NUMBER DENOTES CIRCUIT)</p> <p>⊗ LIGHTING FIXTURES WITH BATTERY BACKED CIRCUIT POWER</p> <p>⊗ EXIT SIGN, SINGLE OR DOUBLE FACED, CEILING OR WALL MOUNTED, BATTERY BACKED</p> <p>⊗ SINGLE POLE SWITCH, FLUSH MOUNTED IN WALL AT 48" AFF T.O.B. (LETTER DENOTES SWITCHLEG)</p> <p>⊗ THREE WAY SWITCH FLUSH MOUNTED IN WALL AT 48" AFF T.O.B.</p> <p>⊗ FOUR WAY SWITCH FLUSH MOUNTED IN WALL AT 48" AFF T.O.B.</p> <p>⊗ SINGLE POLE SWITCH, FLUSH MOUNTED IN WALL AT 48" AFF T.O.B. (DESIGNATED FOR EXHAUST FAN)</p> <p>⊗ NIGHT LIGHT (NO LOCAL SWITCHING)</p> <p>⊗ 20 AMP DUPLEX RECEPTACLE, FLUSH MOUNTED IN WALL AT 48" AFF (NUMBER DENOTES CIRCUIT)</p> <p>⊗ 20 AMP DUPLEX RECEPTACLE, FLUSH MOUNTED IN WALL AT 42" AFF OR 6" ABOVE COUNTER BACKSPLASH (GFI = GROUND FAULT INTERRUPTER) (WP = WEATHERPROOF METALLIC "IN-USE" TYPE COVER)</p> <p>⊗ 20 AMP DOUBLE DUPLEX RECEPTACLE, FLUSH MOUNTED IN WALL AT 18" AFF UNLESS NOTED OTHERWISE.</p> <p>⊗ VOICE/DATA J-BOX, FLUSH MOUNTED IN WALL AT 18" AFF UNLESS NOTED OTHERWISE. PROVIDE A 4" SQUARE x 2" DEEP STEEL BOX WITH SINGLE-GANG PLASTER RING BLANK PLASTIC/PHENOLIC WALLPLATE. PROVIDE ONE 1" EMT RACEWAY WITH PULL STRING FROM BOX TO ABOVE-ACOUSTICAL CEILING IN CORRIDOR. PROVIDE A PLASTIC BUSHING ON BOTH ENDS OF RACEWAY.</p> <p>⊗ VOICE/DATA J-BOX, FLUSH MOUNTED IN WALL AT 42" AFF OR 6" ABOVE COUNTER BACKSPLASH UNLESS NOTED OTHERWISE. PROVIDE A 4" SQUARE x 2" DEEP STEEL BOX WITH SINGLE-GANG PLASTER RING BLANK PLASTIC/PHENOLIC WALLPLATE. PROVIDE ONE 1" EMT RACEWAY WITH PULL STRING FROM BOX TO ABOVE-ACOUSTICAL CEILING IN CORRIDOR. PROVIDE A PLASTIC BUSHING ON BOTH ENDS OF RACEWAY.</p> <p>⊗ JUNCTION BOX, FLUSH MOUNTED IN WALL AT 18" AFF UNLESS NOTED OTHERWISE (FUNCTION AS INDICATED ON PLAN)</p> <p>⊗ JUNCTION BOX, FLUSH MOUNTED IN CEILING OR MOUNTED ABOVE CEILING (FUNCTION AS INDICATED ON PLAN)</p> <p>⊗ ELECTRICAL PANELBOARDS, SURFACE AND FLUSH MOUNTED RESPECTIVELY</p> <p>⊗ ELECTRICAL SAFETY DISCONNECT SWITCH. PROVIDE SWITCH WITH RATINGS AS INDICATED IN THE DISCONNECT SWITCH SCHEDULE SHOWN ON THIS SHEET. SURFACE MOUNT SWITCH ON WALL OR EQUIPMENT AT LOCATION WHERE SWITCH HAS PROPER CLEARANCE IN ACCORDANCE WITH NEC.</p> <p>⊗ ELECTRICAL CONNECTION TO A MOTOR, OR TO MOTOR DRIVEN EQUIPMENT</p> <p>⊗ MOTOR RATED SNAP SWITCH IN NEMA 1 ENCLOSURE</p>	<p>⊗ FIRE ALARM MANUAL PULL STATION, SEMI-FLUSH MOUNT IN WALL AT 48" AFF T.O.B.</p> <p>⊗ FIRE ALARM VISIBLE-ONLY (STROBE) INDICATING DEVICE, SEMI-FLUSH MOUNTED IN CEILING (NUMBER INDICATES MINIMUM CANDELA RATING)</p> <p>⊗ FIRE ALARM VISIBLE-ONLY (STROBE) INDICATING DEVICE, SEMI-FLUSH MOUNTED IN WALL AT 80" AFF (NUMBER INDICATES MINIMUM CANDELA RATING)</p> <p>⊗ FIRE ALARM HORN/STROBE INDICATING DEVICE, SEMI-FLUSH MOUNTED IN CEILING (NUMBER INDICATES MINIMUM CANDELA RATING)</p> <p>⊗ FIRE ALARM HORN/STROBE INDICATING DEVICE, (SPEAKER TYPE), SEMI-FLUSH MOUNTED IN WALL AT 80" AFF (WP = WEATHERPROOF RATED) (NUMBER INDICATES MINIMUM CANDELA RATING)</p> <p>⊗ PHOTOELECTRIC SPOT-TYPE SMOKE DETECTOR, SEMI-FLUSH MOUNT DETECTOR IN CEILING.</p> <p>⊗ 135 DEGREE SPOT-TYPE HEAT DETECTOR, FIXED TEMPERATURE, SEMI-FLUSH MOUNT DETECTOR IN CEILING.</p> <p>⊗ CONTROL PANELS (SYSTEM AS INDICATED), SURFACE AND FLUSH MOUNTED RESPECTIVELY.</p> <p>⊗ SECURITY CAMERA JUNCTION BOX</p> <p>⊗ ELECTRIC DOOR STRIKE</p> <p>⊗ CARD READER JUNCTION BOX, 4" SQUARE, SEMI-FLUSH MOUNTED IN WALL AT 48" T.O.B. UNLESS NOTED OTHERWISE. PROVIDE 3/4" CONDUIT FROM BOX TO ABOVE CEILING WITH 90° BEND & SINGLE GANG PLASTER RING</p> <p>⊗ ELECTRONIC DOOR HOLDER, FLOOR MOUNTED</p> <p>⊗ ELECTRONIC DOOR HOLDER, WALL MOUNTED</p> <p>⊗ LIGHTING CONTROL SCHEM MARK, SEE SCHEDULE</p> <p>— LIGHT LINE REPRESENTS EXISTING DEVICE, FIXTURE, OR EQUIPMENT TO REMAIN IN PLACE.</p> <p>- - - - - DASHED LINE REPRESENTS EXISTING DEVICE, FIXTURE, OR EQUIPMENT TO BE REMOVED. SEE DEMOLITION/RENOVATION NOTATION SCHEDULE FOR DETAILED INFORMATION.</p>
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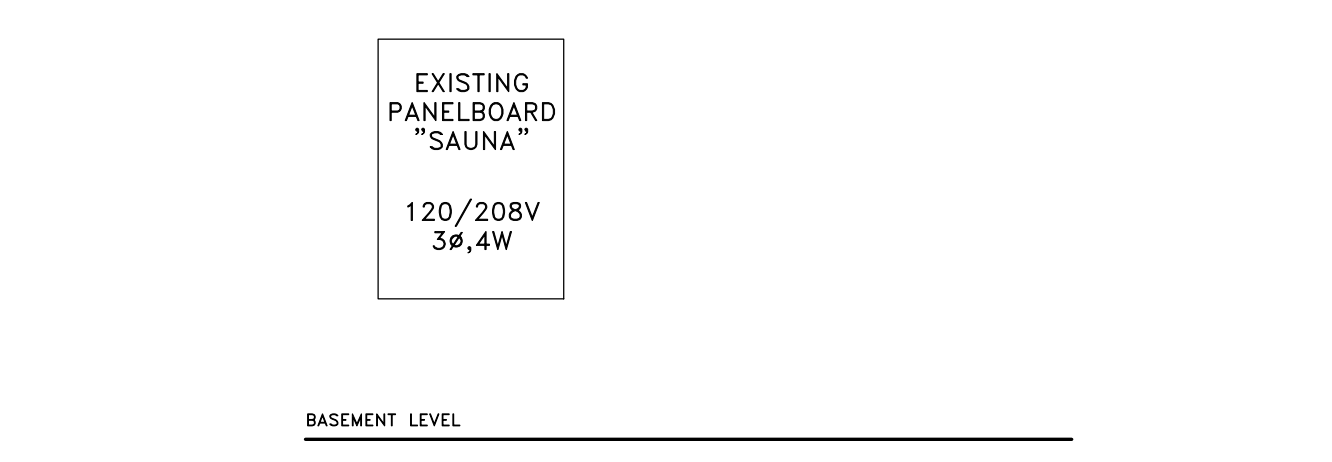
MOUNTING HEIGHTS INDICATED IN THIS LEGEND SHALL BE TO CENTERLINE OF DEVICE BOX. ALL SWITCHES AND PULL STATIONS SHALL BE INSTALLED TO BE 48" AFF TO TOP OF BOX UNLESS NOTED OTHERWISE.

ELECTRICAL ABBREVIATIONS

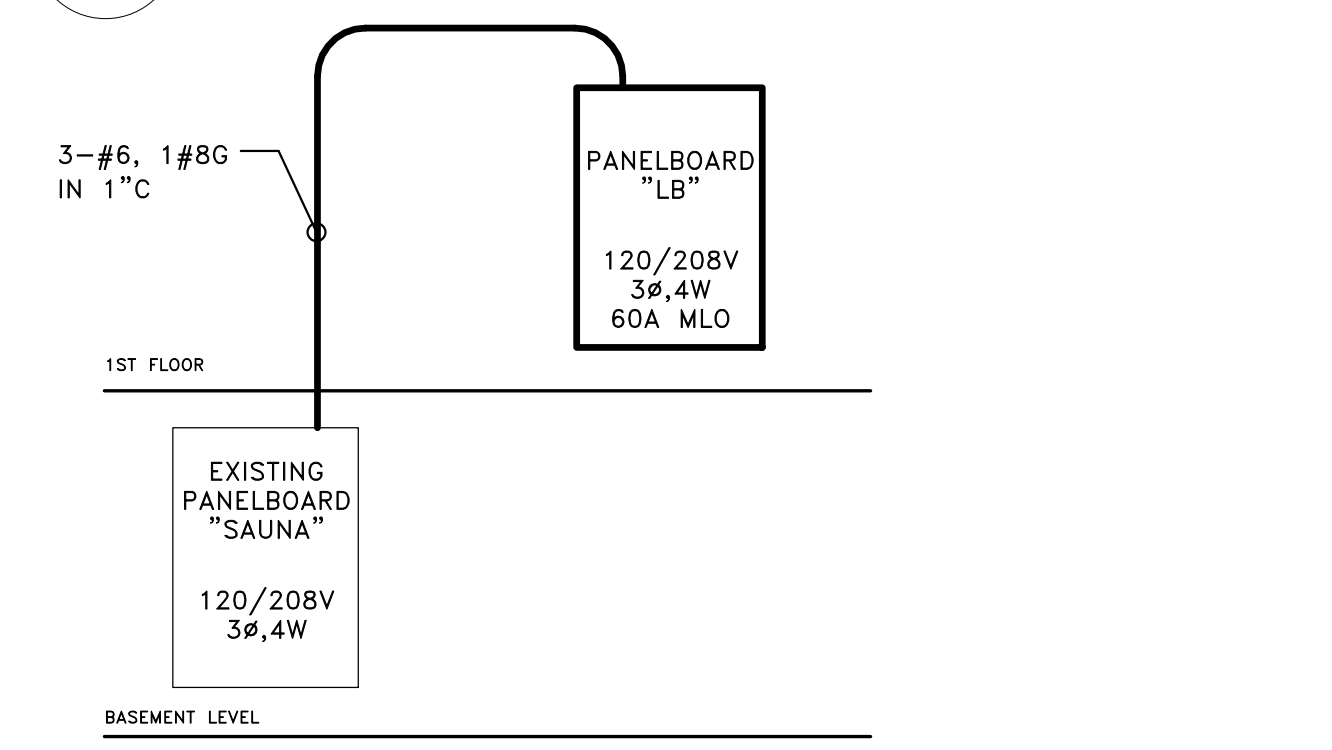
AFB	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AIU	ADDRESSABLE INTERFACE UNIT
AL	ALUMINUM
BEC	BY ELECTRICAL CONTRACTOR
BGC	BY GENERAL CONTRACTOR
BOF	BOTTOM OF FIXTURE
C	CONDUIT
CU	COPPER
DACT	DIGITAL ALARM COMMUNICATOR TRANSMITTER
FAA	FIRE ALARM ANNUNCIATOR
FACP	FIRE ALARM CONTROL PANEL
FBO	FURNISHED BY OTHERS
GFI	GROUND FAULT INTERRUPTER
IG	ISOLATED GROUND
J-BOX	JUNCTION BOX
MB	MAIN BREAKER
MD	MOTOR DAMPER
MH	MOUNTING HEIGHT
MLO	MAIN LUGS ONLY
NCE	NOT CONCRETE ENCASED
NEC	NATIONAL ELECTRICAL CODE
NF	NON-FUSIBLE
NIC	NOT IN CONTRACT
PIV	POST INDICATING VALVE
SD	SMOKE DAMPER
SW	SWITCH
TOB	TOP OF BOX
TOF	TOP OF FIXTURE
UC	UNDERCOUNTER
WP	WEATHERPROOF

NOTES

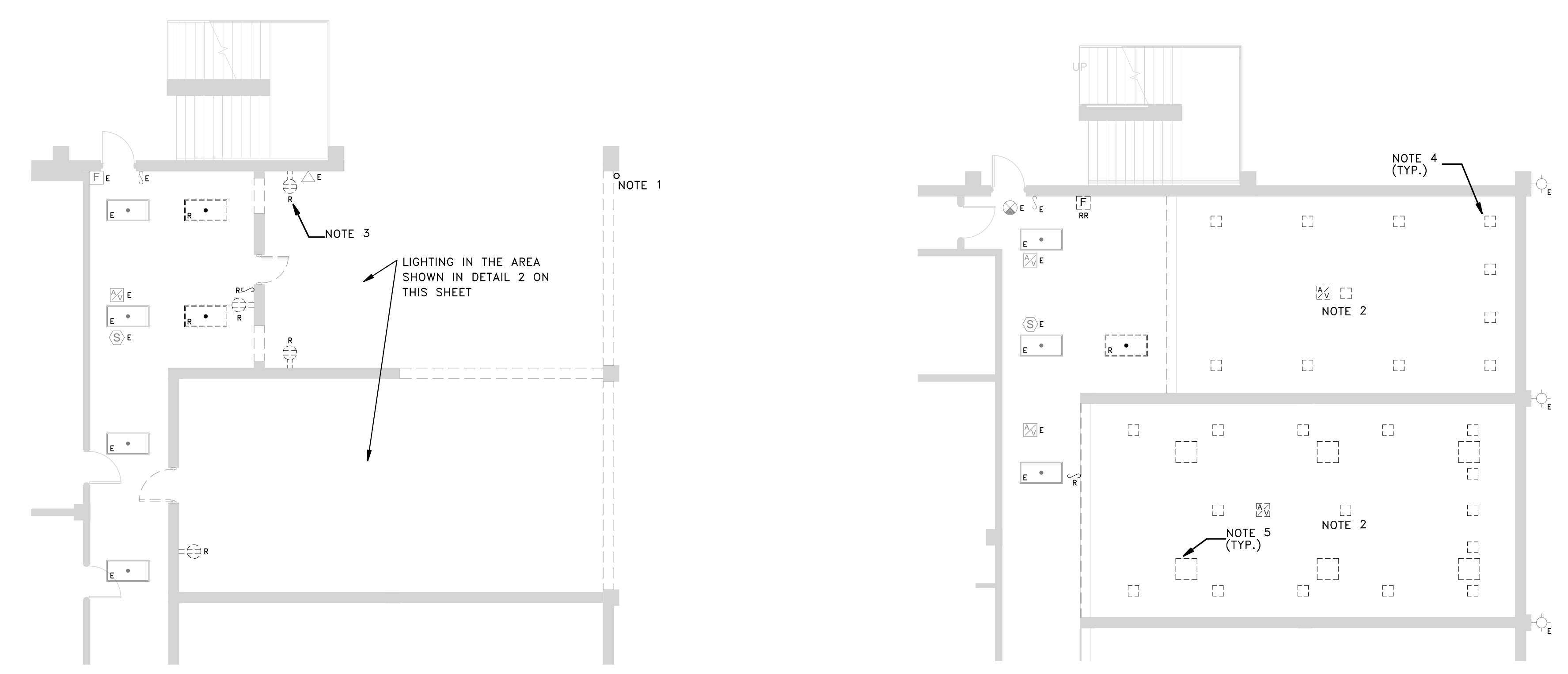
1. EXISTING PANELBOARD "SAUNA" HAS TWO SPARE 60 AMP, 3 POLE BREAKERS. ONE OF THESE BREAKERS SHALL BE USED TO FEED A NEW 60 AMP PANEL.



4 PARTIAL EXISTING POWER SINGLE-LINE DIAGRAM
 E1.0 SCALE: NOT TO SCALE



5 RENOVATION POWER SINGLE-LINE DIAGRAM
 E1.0 SCALE: NOT TO SCALE



1 FIRST FLOOR ELECTRICAL DEMOLITION PLAN
 E1.0 SCALE: 1/8" = 1'-0"

2 SECOND FLOOR ELECTRICAL DEMOLITION PLAN
 E1.0 SCALE: 1/8" = 1'-0"

- DEMOLITION NOTES**
- CONTRACTOR SHALL REROUTE VERTICAL PORTION OF CONDUIT THAT FEEDS EMERGENCY CALLBOX. SEE RENOVATION SHEET.
 - DISCONNECT AND REMOVE EXISTING FIXTURES REFERENCED TO THIS NOTE. LEAVE ACCESS TO STRUCTURE ABOVE FOR INSTALLATION OF FANS IN RENOVATION PHASE.
 - MODIFY & EXTEND BRANCH TO NEW LOCATION SHOWN ON RENOVATION PLAN.
 - DISCONNECT EXISTING FIXTURES AND ABANDON IN PLACE UNLESS SPECIFICALLY NOTED OTHERWISE.
 - DISCONNECT AND REMOVE EXISTING 2x2 FIXTURES. LEAVE ACCESS TO STRUCTURE ABOVE FOR INSTALLATION OF PENDANT LIGHTS IN RENOVATION PHASE. EXISTING LIGHTING BRANCH CIRCUIT SHALL BE RE-USED IN RENOVATION PHASE.

- DEMOLITION/RENOVATION NOTATION**
- E EXISTING FIXTURE OR DEVICE TO REMAIN IN PLACE.
 - R EXISTING FIXTURE OR DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. MAINTAIN CONTINUITY OF REMAINING PORTIONS OF BRANCH CIRCUIT.
 - RE EXISTING DEVICE TO BE REMOVED BY THE ELECTRICAL CONTRACTOR. EXISTING CIRCUIT SHALL BE RETAINED. PROVIDE NEW DEVICE AS SHOWN ON RENOVATION PLANS.
 - RR EXISTING FIXTURE TO BE RELOCATED BY THE ELECTRICAL CONTRACTOR TO NEW LOCATION SHOWN ON RENOVATION PLAN.
 - RN RE-INSTALL EXISTING FIXTURE IN NEW LOCATION SHOWN

- GENERAL NOTES**
- EXISTING BRANCH CIRCUITS LISTED WERE TAKEN FROM AS-BUILT DOCUMENTS AND HAVE NOT BEEN FIELD VERIFIED. CONTRACTOR SHALL FIELD VERIFY SOURCE OF BRANCH CIRCUITS PRIOR TO WORK.
 - ALL CIRCUITS SHALL BE 2#12, 1#12 GND. IN 3/4" UNLESS NOTED OTHERWISE.
 - COMMUNICATIONS, SECURITY CAMERAS, AND ACCESS CONTROL SYSTEM RACEWAYS SHALL BE ROUTED FROM DEVICE LOCATIONS TO CONSOLIDATION JUNCTION BOX. SEE PLANS FOR DETAILS.
 - ALL WORK SHALL COMPLY WITH NFPA70:2011 (NATIONAL ELECTRIC CODE), ELECTRICAL LAYOUT DRAWINGS ARE DIAGRAMMATIC. COORDINATE ALL WORK WITH ARCHITECTURAL, CIVIL, STRUCTURAL, AND MECHANICAL CONTRACT DOCUMENTS.
 - INSTALL THE ELECTRICAL SYSTEM WITHOUT INTERFERING WITH DUCTS, PIPES, STRUCTURAL STEEL, OR OTHER SYSTEMS. LOCATE LIGHTING FIXTURES SYMMETRICALLY IN THE PROPER RELATION TO FINISHED AREAS, EXCEPT WHERE DIMENSIONED ON DRAWINGS OR LOCATED ON REFLECTED CEILING PLANS.
 - PROVIDE TWO #12 STEEL SLACK CABLES TO STRUCTURE FROM EACH FIXTURE MOUNTED IN A GRID CEILING.
 - MOUNT GROUPED DEVICES IN A SINGLE CONTINUOUS MULTI-GANG BOX.
 - EMT FITTINGS SHALL BE OF THE COMPRESSION TYPE. SET SCREW OR INDENTOR TYPE FITTINGS SHALL NOT BE USED.
 - OUTLETS WHICH OCCUR ON OPPOSITE SIDES OF A COMMON WALL SHALL BE OFFSET A MINIMUM OF 12 INCHES.
 - WALL PENETRATIONS FOR RACEWAYS SHALL BE PROVIDED BY ELECTRICAL CONTRACTOR. PROVIDE FIRESTOPPING AROUND RACEWAYS PENETRATING RATED WALLS PER ARCHITECTURAL DRAWINGS. PROVIDE DRAFTSTOP SEAL AT NON-RATED WALLS.

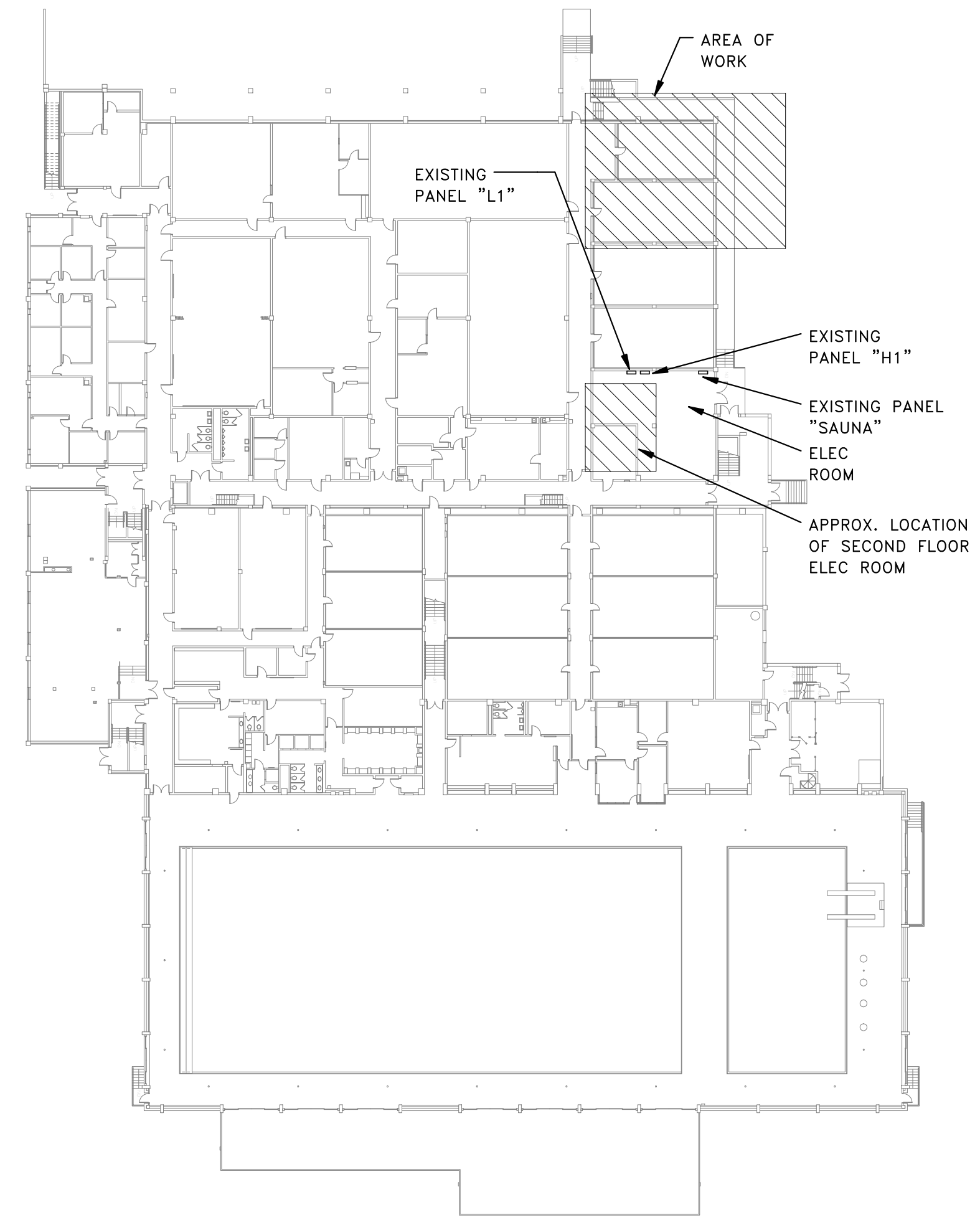
DISCONNECT SWITCH SCHEDULE

NO.	AMPS	POLES	VOLTAGE	NEMA ENCLOSURE
1	30	2	208V	1
2	30	2	208V	3R
3	30	3	208V	1
4	30	3	208V	3R
5	60	3	208V	1
6	60	2	208V	3R
7	100	3	208V	1
8	100	3	208V	3R
9	200	3	208V	1
10	200	3	208V	3R
11	30	3	480V	1
12	30	3	480V	3R
13	60	3	480V	1
14	60	3	480V	3R
15	100	3	480V	1
16	100	3	480V	3R
17	200	3	480V	1
18	200	3	480V	3R
19	400	3	480V	1
20	400	3	480V	3R

ALL SWITCHES SHALL BE GENERAL DUTY TYPE, FUSIBLE UNLESS NOTED WITH "NF" (NON-FUSIBLE)

⊗ DENOTES DISCONNECT SWITCH INTEGRAL WITH MECHANICAL EQUIPMENT.

ELEVATOR EQUIPMENT ROOM DISCONNECTS SHALL HAVE AUXILIARY CONTACT WITH TWO WIRE CONTROL CIRCUIT TO ELEVATOR UNIT.



3 KEYPLAN
 E1.0 SCALE: NOT TO SCALE

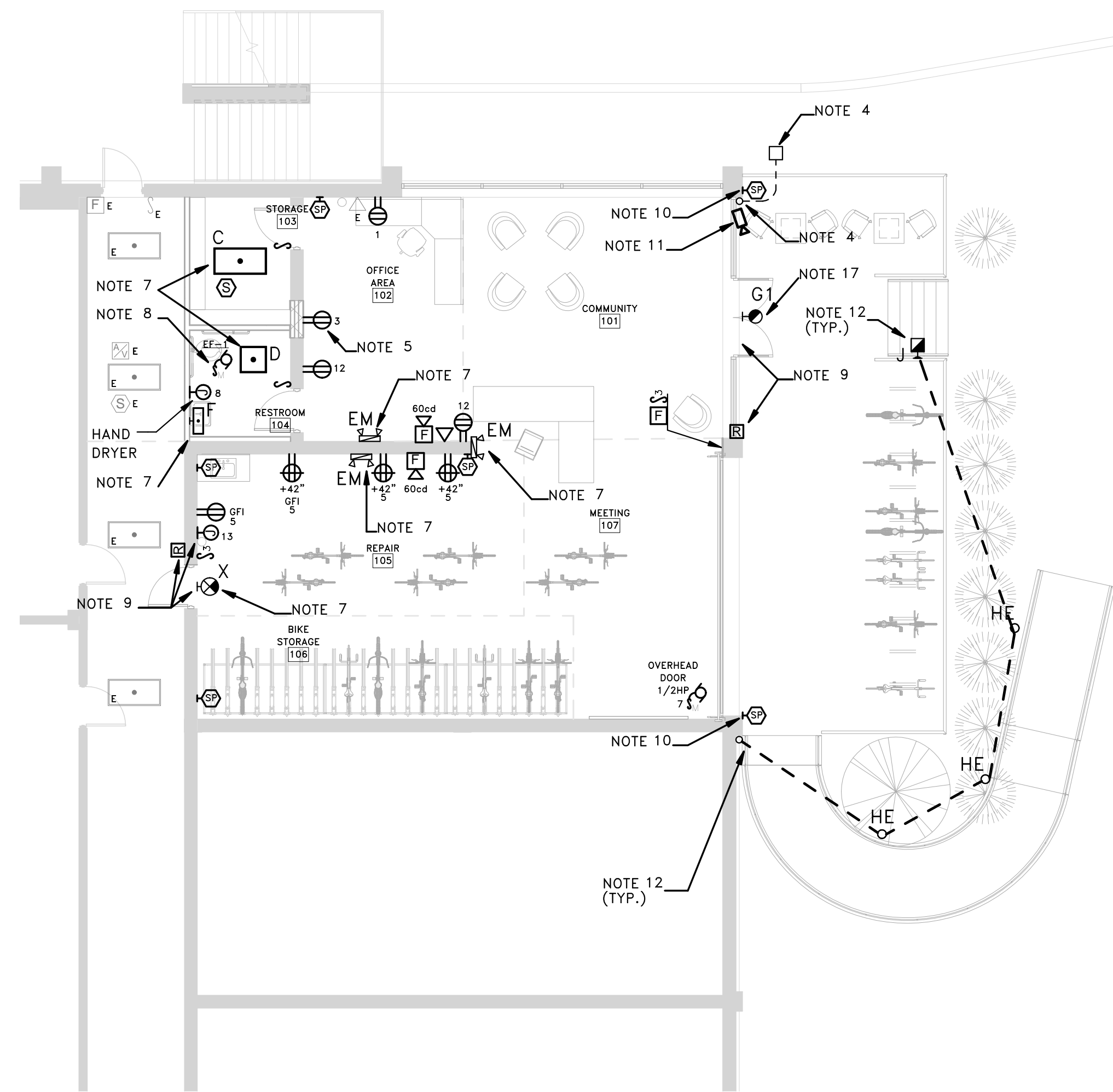
ELECTRICAL DRAWING INDEX

E1.0	ELECTRICAL DEMOLITION PLANS
E2.0	ELECTRICAL RENOVATION PLANS
E3.0	PANELBOARD SCHEDULE & DETAILS

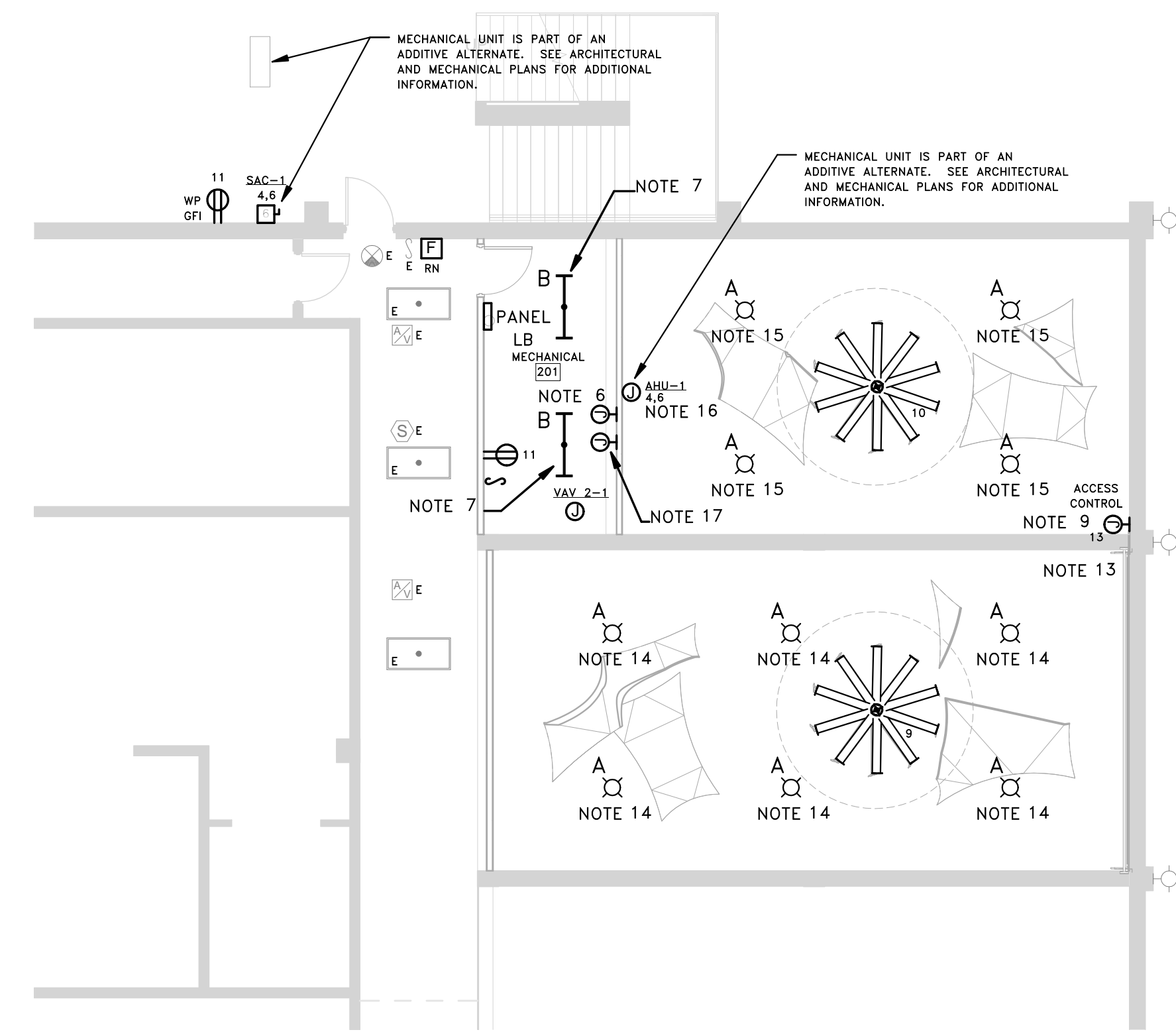
BEA BELKA ENGINEERING ASSOCIATES, INC.
 7 CLUSTERS COURT, SUITE 201
 COLUMBIA, SOUTH CAROLINA 29210
 (803) 731-0650 fax (803) 731-2880
 EMAIL: JAreheart@bellsouth.net

LIGHTING FIXTURE SCHEDULE									
Symbol	Type Mark	Description	Manufacturer	Model	Optical Element	Mounting	Voltage	Philips Lamps	
⊗	A	INDUSTRIAL PENDANT	DAYBRITE SPECTRUM PATHWAY	ELP-210 G16WE 277E	GLASS LENS	SUSPENDED 16'0" AFF	277 V	1 - MHC150/C/U/M/4K	
	B	4' FLUORESCENT STRIP FIXTURE	DAY-BRITE COLUMBIA H.E. WILLIAMS	IS 2 32 277 1/2-EB	NONE	CEILING	277 V	2 - F28T8/ADV841/ALTO	
□	C	2'x4' FLUORESCENT GRID TROFFER, 2 LAMPS	DAY-BRITE COLUMBIA H.E. WILLIAMS	2TG8 2 32 21 UNV 1/2-EB	.125 ACRYLIC LENS	GRID	277 V	2 - F28T8/ADV841/ALTO	
□	D	2'x2' FLUORESCENT GRID TROFFER, 2 LAMPS	DAY-BRITE COLUMBIA H.E. WILLIAMS	2TG8 217R 21 UNV 1/2	.125 ACRYLIC LENS	GRID	277 V	2 - F17T8/ADV841/ALTO	
⊕	EM	EMERGENCY LIGHTING UNIT	CHLORIDE DUAL-LITE EMERGI-LITE	CAX6N	NONE	WALL 8'0" AFF	277 V	2 - 6W MR16	
⊕	F	2' WALL MOUNTED FIXTURE	DAY-BRITE PRUDENTIAL H.E. WILLIAMS	AVW 117 PMW UNV DEK 1/1-EB	ACRYLIC LENS	WALL	277 V	1 - F17T8/ADV841/ALTO	
⊕	G1	EXTERIOR EMERGENCY WALL FIXTURE, WITH INTEGRAL BATTERY PACK	EXITRONIX	NF5 WB 10L WM MWM	GLASS LENS	SEE NOTE 4	277 V	L.E.D. INCLUDED	
○	HE	LED BOLLARD 180-DEGREE, INVERTER BACKED	GARCOO BEACON LSI INDUSTRIES	BRM832-42-CWL-WW-180-U NY-NP	-	GRADE	277 V	L.E.D. (30K, 41W)	
⊕	J	L.E.D. STEP LIGHT, INVERTER BACKED	KENALL	MCSL-VR-BR-2L30K DV	POLYCARBONATE	WALL	277 V	L.E.D. (3.8W, 3000K)	
⊕	X	LED EXIT SIGN WITH NiCd BATT., RED LETTERS AND WHITE CANOPY, 1 FACE	CHLORIDE DUAL-LITE EMERGI-LITE	ER46L 1 R	NONE	AS SHOWN	120 V	L.E.D. INCLUDED	

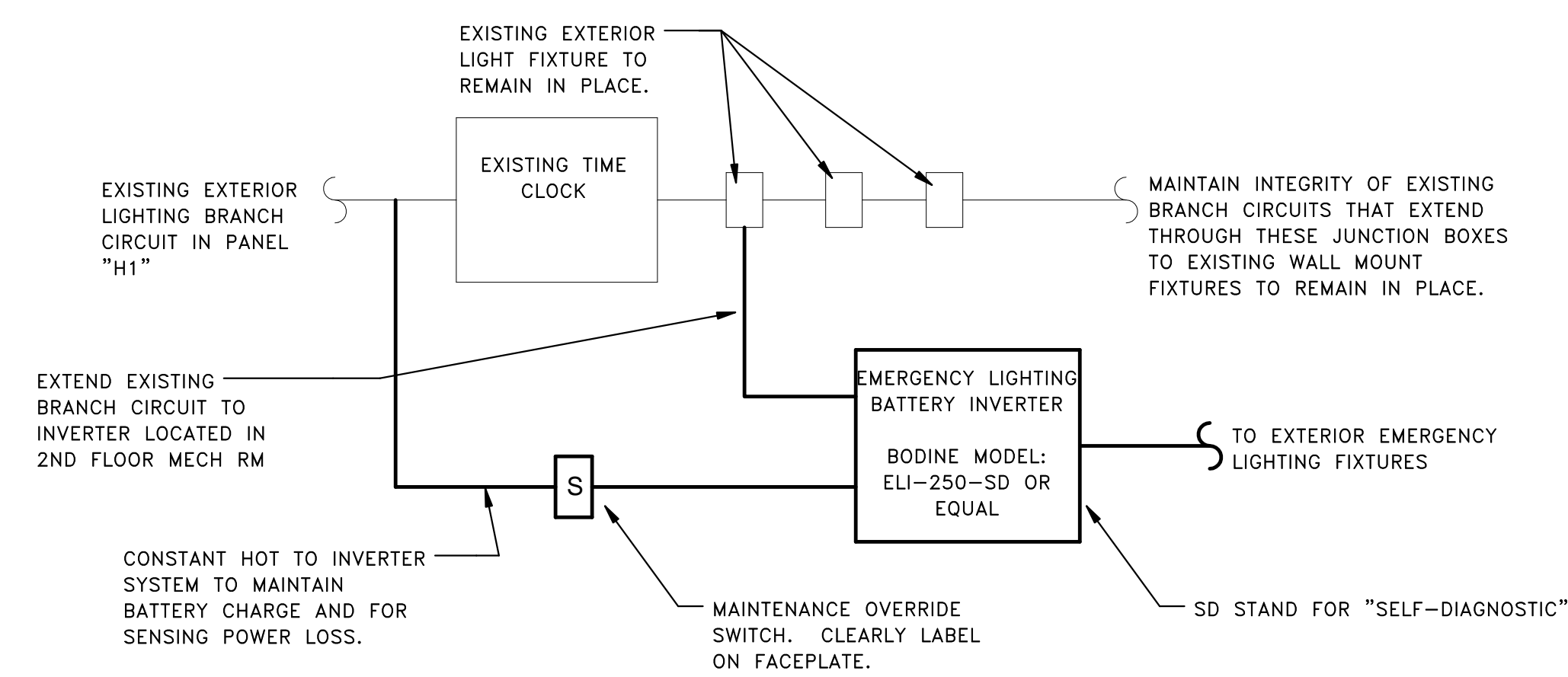
- LIGHTING FIXTURE SCHEDULE NOTES:**
- LIGHTING FIXTURES SHALL BE FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR.
 - FOR EACH FIXTURE LISTED IN THE LIGHTING FIXTURE SCHEDULE THE FIRST MANUFACTURER LISTED IS THE BASIS OF DESIGN. MODEL NUMBERS LISTED ARE FOR THE BASIS OF DESIGN MANUFACTURER ONLY. ANY OTHER MANUFACTURER'S LISTED INDICATE THAT THEY MAY BE CONSIDERED AS A PRIOR APPROVED EQUAL. PRIOR APPROVED EQUAL SHALL BE DEFINED AS THE ABILITY TO PROVIDE AN EQUAL FIXTURE TO THE BASIS OF DESIGN.
 - CONTRACTORS MAY SUBMIT PROPOSED EQUALS FOR ANY FIXTURES LISTED TO ENGINEER FOR REVIEW 10-DAYS PRIOR TO BID.
 - FIXTURE SHALL BE MOUNTED ON UNDERSIDE OF HORIZONTAL CONCRETE BEAM AT TOP OF STOREFRONT. SEE ARCHITECTURAL ELEVATIONS AND DETAILS FOR MORE INFORMATION.



1 FIRST FLOOR ELECTRICAL RENOVATION PLAN
E2.0 SCALE: 1/8" = 1'-0"



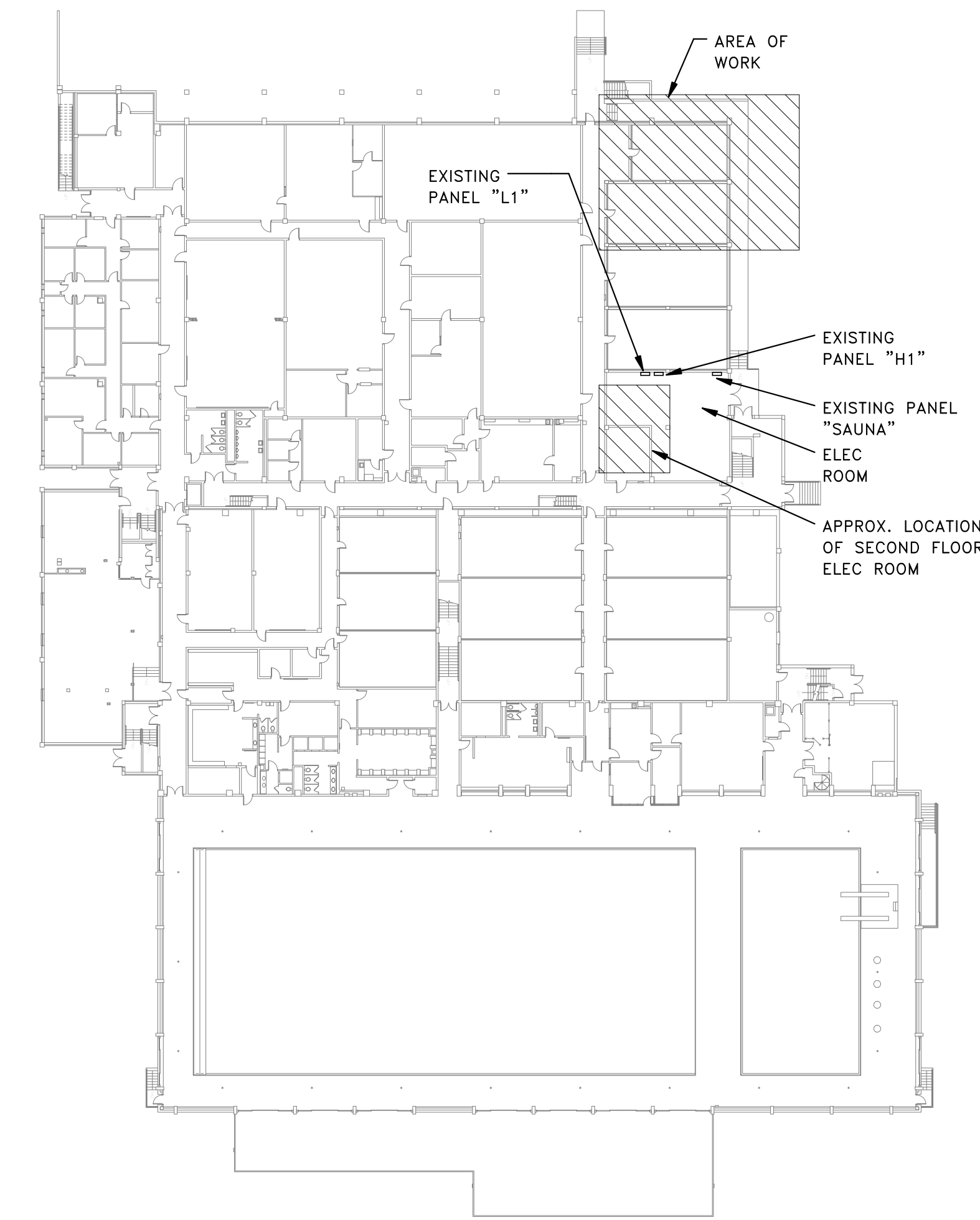
2 SECOND FLOOR ELECTRICAL RENOVATION PLAN
E2.0 SCALE: 1/8" = 1'-0"



3 EXTERIOR LIGHTING CONTROL DETAIL
E2.0 SCALE: NOT TO SCALE

- RENOVATION NOTES**
- EXISTING PANELS "L1" AND "H1" THAT SERVE THE RENOVATION AREA ARE LOCATED PLAN SOUTH, IN MECHANICAL-2 M-2.
 - LIGHTING FIXTURES BRANCH CIRCUITS APPEAR TO BE FED FROM EXISTING 480/277V PANEL IN SECOND FLOOR MECHANICAL ROOM. FIELD VERIFY SOURCE AND MODIFY EXISTING LIGHTING BRANCH CIRCUIT AND EXTEND TO NEW FIXTURE LOCATIONS.
 - NEW RECEPTACLES AND ELECTRICAL DEVICES SHALL BE FED FROM NEW PANEL "LB", UNLESS NOTED OTHERWISE.
 - APPROXIMATE LOCATION OF REROUTED CONDUIT SECURED TO COLUMN SURFACE. COORDINATE LOCATION WITH ARCHITECT TO MINIMIZE VISIBILITY OF CONDUIT. PROVIDE WEATHER PROOF BOX ABOVE STOREFRONT FOR EXTENDING RACEWAY AND BRANCH CIRCUIT TO NEW LOCATION. INTERCEPT EXISTING UNDERGROUND PORTION OF BRANCH CIRCUIT AND PROVIDE A 6"x12" HANDHOLE. MODIFY AND EXTEND BRANCH CIRCUIT AS REQUIRED TO ACCOMMODATE RE-ROUTING.
 - PROVIDE A 20-AMP, 1-POLE GFCI TYPE CIRCUIT BREAKER IN PANEL "LB" FOR ELECTRIC WATER COOLER. COORDINATE EXACT LOCATION WITH ALL OTHER TRADES PRIOR TO ROUGH-IN.
 - PROVIDE AN EMERGENCY LIGHTING INVERTER TO SUPPORT EXTERIOR LIGHTING. SEE DETAIL 3 ON THIS SHEET FOR ADDITIONAL INFORMATION.
 - EXTEND EXISTING LIGHTING BRANCH CIRCUIT THAT SERVES FIXTURES IN THIS SPACE TO THESE FIXTURES.
 - FAN SHALL BE CIRCUITED WITH LIGHT FIXTURES IN THIS ROOM, AND SWITCHED VIA THE LIGHTING SWITCH FOR THIS ROOM.
 - PROVIDE ROUGH-IN FOR ACCESS CONTROL DOORS PER DETAIL 1.3, AND 4 ON SHEET E3.0.
 - CORE DRILL EXTERIOR WALL AND PROVIDE A LOW-PROFILE SURFACE MOUNT WEATHERPROOF BOX ABOVE EXTERIOR STOREFRONT FOR EXTERIOR SPEAKER.
 - CORE DRILL EXTERIOR WALL AND PROVIDE A LOW-PROFILE SURFACE MOUNT WEATHERPROOF BOX ABOVE EXTERIOR STOREFRONT FOR EXTERIOR CCTV CAMERA.
 - ROUTE RACEWAY EXPOSED HIGH IN INTERIOR OF BIKE SHOP BETWEEN INVERTER AND LIGHT FIXTURES. SEE DETAIL 3 ON THIS SHEET. CORE DRILL EXTERIOR WALL AND PROVIDE A SEAL-FITTING ON EXTERIOR WALL AND ROUTE EXPOSED TO BELOW GRADE. PROVIDE INSULATING FOAM IN SEAL FITTING. EXTEND BRANCH CIRCUIT TO BOLLARDS AND TO STAIR LIGHT FIXTURE. PAINT EXPOSED RACEWAYS TO MATCH SURROUNDING FINISH.
 - MOUNT ACCESS CONTROL SYSTEM CABINETS AS HIGH AS POSSIBLE AND ROUTE EXPOSED RACEWAYS DOWN COLUMN TO THE INTO STORE FRONT FRAME. SEE DETAIL 1 ON SHEET E3.0 FOR MORE INFORMATION.
 - INSTALL TYPE "A" FIXTURES WHERE EXISTING 2x2 FIXTURES WERE REMOVED. FIXTURES SHALL BE SUPPORTED FROM STRUCTURE ABOVE EXISTING PLASTER CEILING. MODIFY AND EXTEND EXISTING LIGHTING BRANCH CIRCUIT TO CONNECT FIXTURE.
 - CUT EXISTING CEILING TO ALLOW ACCESS TO STRUCTURE ABOVE FOR SUPPORTING LIGHT FIXTURES. MODIFY AND EXTEND EXISTING LIGHTING BRANCH CIRCUIT IN THIS SPACE TO FIXTURE LOCATIONS. CONCEAL RACEWAYS ABOVE CEILING WHERE FEASIBLE.
 - MINI-SPLIT SYSTEM AIR HANDLER IS ELECTRICALLY SERVED FROM OUTDOOR UNIT. INSTALL PER SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - EXTEND UNSWITCHED CONDUCTOR THAT SUPPORTS EXTERIOR LIGHTING TO TYPE "D1" FIXTURE'S REMOTE POWER SUPPLY. MOUNT REMOTE POWER SUPPLY IN MECHANICAL ROOM ON 2ND FLOOR. ROUTE LOW-VOLTAGE CONDUCTORS FROM POWER SUPPLY INTO STORE-FRONT FRAMING TO FIXTURE. MAXIMUM ALLOWABLE LENGTH OF CONDUCTORS BETWEEN POWER SUPPLY AND FIXTURE IS 100'.

- GENERAL RENOVATION NOTES**
- ROUTE WIREMOLD TYPE SURFACE METAL RACEWAY WHERE EXPOSED ON INTERIOR OF BUILDING. PROVIDE GALVANIZED RIGID STEEL RACEWAY WHERE EXPOSED ON EXTERIOR OF BUILDING. PAINT ALL RACEWAYS TO MATCH SURROUNDING FINISH.



4 KEYPLAN
E2.0 SCALE: NOT TO SCALE

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SEAL
SOUTH CAROLINA
BELKA ENGINEERING ASSOCIATES, INC.
No. C00953
DATE OF AUTHORITY
5-7-14

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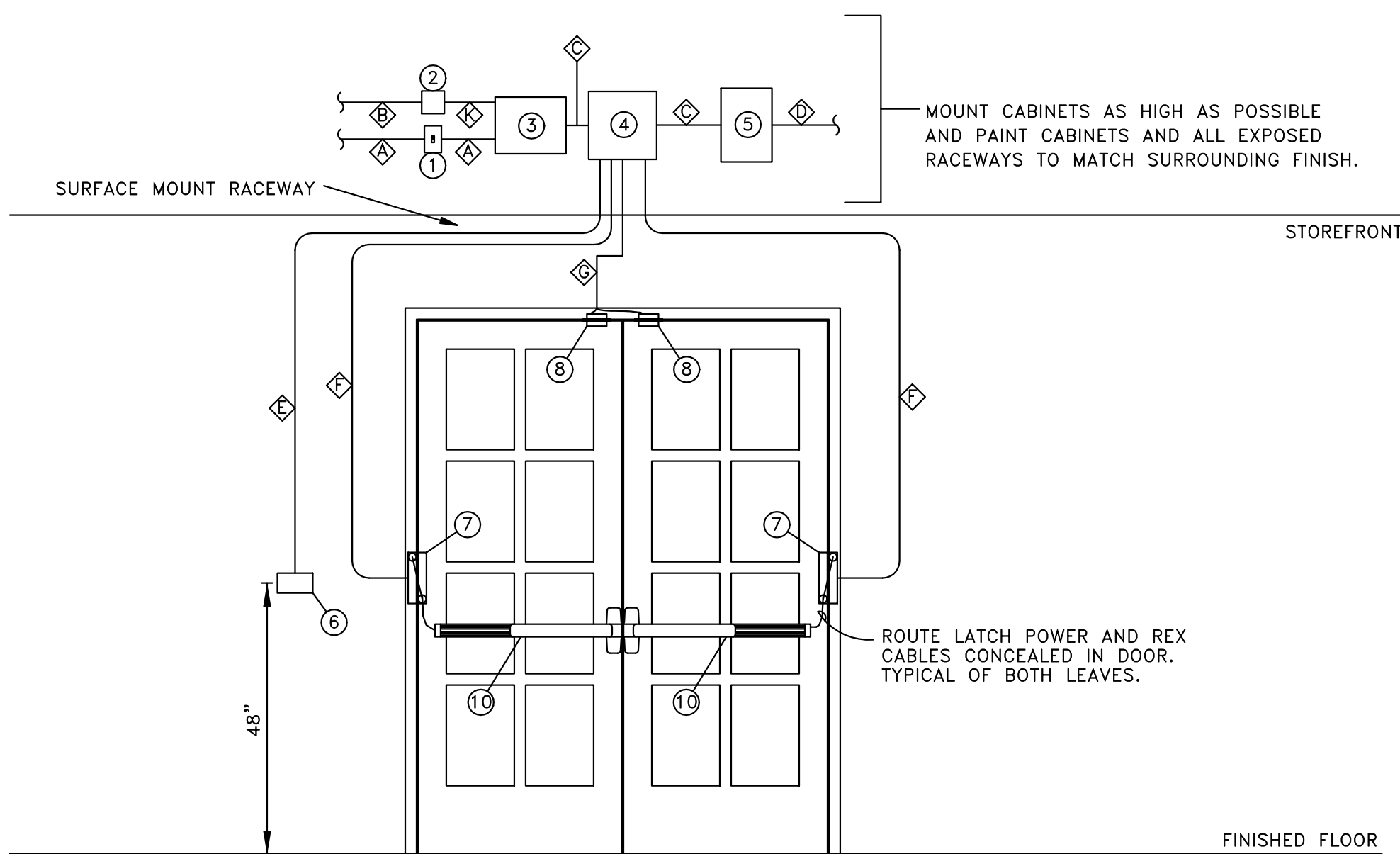
PROJECT TITLE
CONVERT THE SQUASH/BALL CT INTO BIKE SHOP
1300 WHEAT STREET
COLUMBIA, SC 29208
Project No.: HZ-Z154

NO.	REVISIONS	DATE
	NAME	

DRAWN BY: JJS
CHECKED BY: JJA

ELECTRICAL RENOVATION PLANS

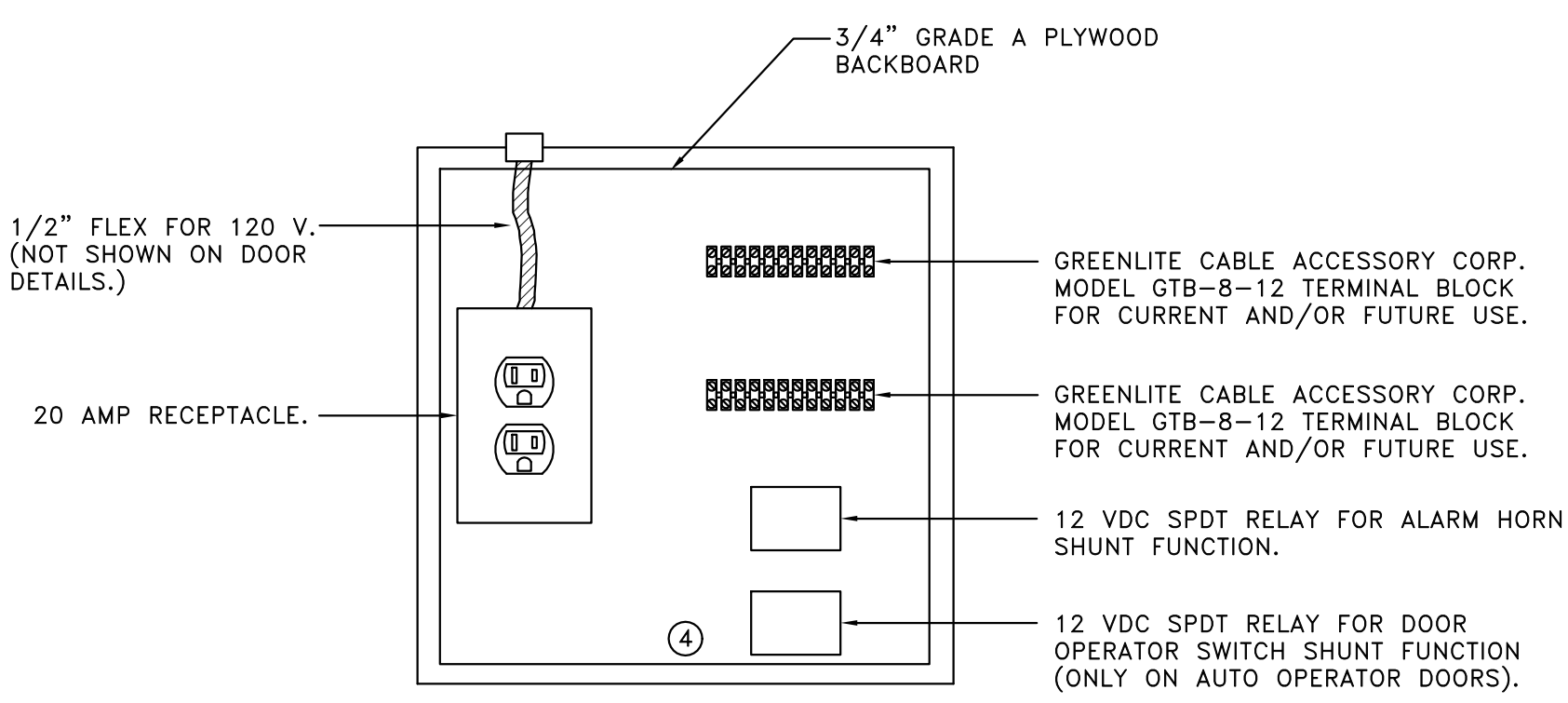
PROJECT NO. DATE
DRAWING NO. **E2.0**



1 TYPICAL DOUBLE DOOR DETAIL ACCESS CONTROLLED DOORS

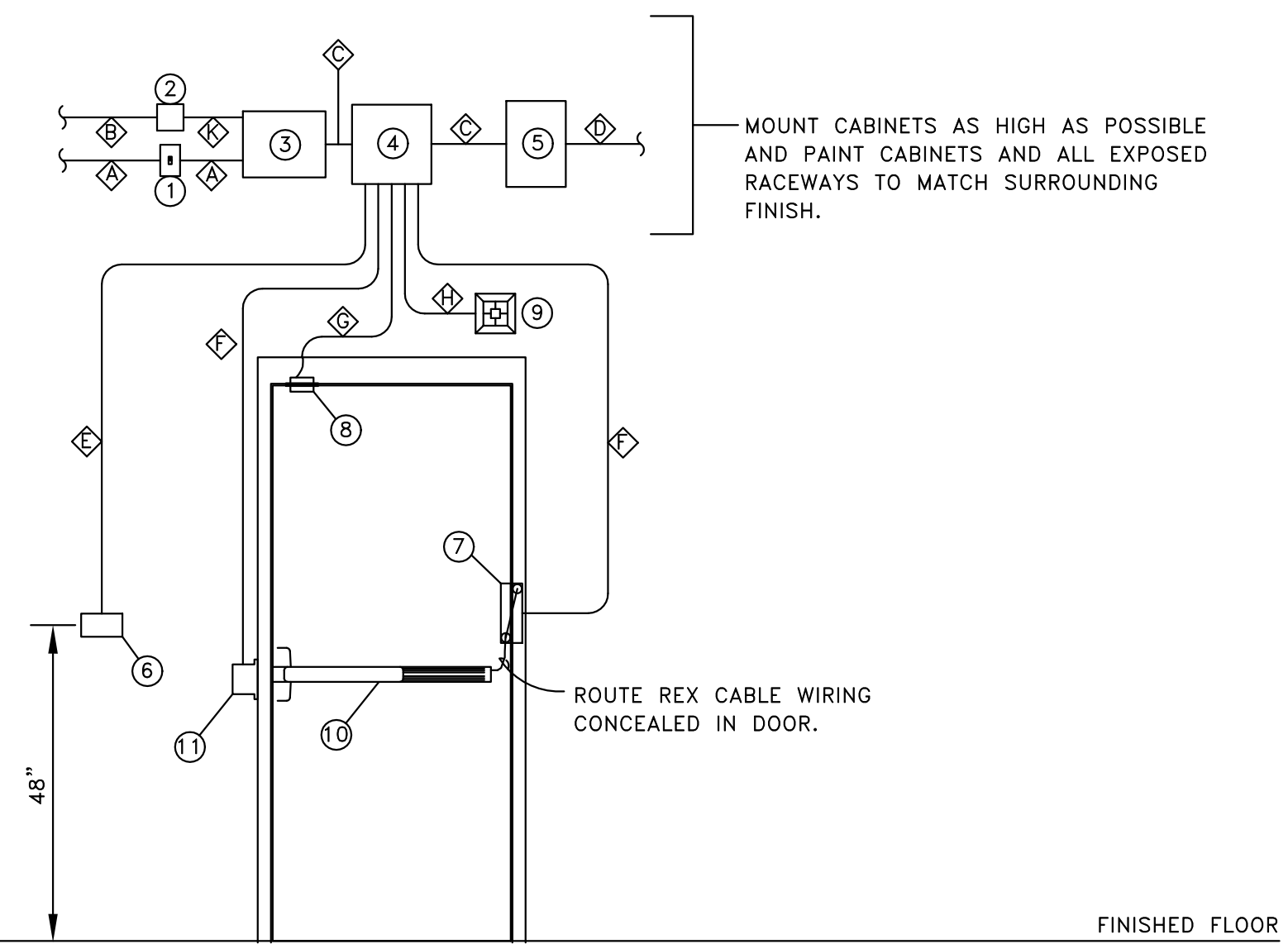
E3.0 SCALE: NOT TO SCALE

DOOR DETAIL SYMBOLOGY	
DEVICES	
①	20 AMP SINGLE POLE TOGGLE SWITCH.
②	FIRE ALARM ADDRESSABLE INTERFACE UNIT/CONTROL RELAY.
③	DOOR LOCK POWER SUPPLY. FURNISHED BY DOOR HARDWARE SUPPLIER.
④	12" X 12" X 6" NEMA1 JUNCTION BOX WITH A 3/4" INTERIOR GRADE A FIRE RETARDANT BACKBOARD. SEE DETAIL 2 ON THIS SHEET.
⑤	ACCESS CONTROL TERMINAL CONTROLLER CABINET (TC#).
⑥	ACCESS CONTROL CARD READER MOUNTED ON UNSECURE SIDE OF DOOR/GATE.
⑦	DOOR MOUNTED ELECTRIC POWER TRANSFER DEVICE. FURNISHED BY DOOR HARDWARE SUPPLIER.
⑧	MAGNETIC DOOR POSITION SWITCH. FURNISHED BY DOOR HARDWARE SUPPLIER.
⑨	EGRESS HARDWARE WITH INTEGRAL ELECTRIC LATCH RETRACTION AND REX SWITCH. FURNISHED BY DOOR HARDWARE SUPPLIER.
⑩	EGRESS HARDWARE WITH INTEGRAL ELECTRIC LATCH RETRACTION AND REX SWITCH. FURNISHED BY DOOR HARDWARE SUPPLIER.
⑪	ELECTRIC STRIKE. FURNISHED BY DOOR HARDWARE SUPPLIER.
CONDUIT/CABLE	
⬡	120 VAC: 1/2" EMT TO ACCESS CONTROL BACKBOARD.
⬡	FIRE ALARM CONTROL: 1/2" EMT RUN TO FIRE ALARM SIGNALING LINE AND POWER CIRCUITS.
⬡	CABINET INTERCONNECTION: 1" EMT RUN BETWEEN ACCESS CONTROL CABINETRY.
⬡	NETWORK COMMUNICATIONS: 3/4" EMT TO ABOVE NEAREST ACCESSIBLE CEILING.
⬡	CARD READER: 1" EMT.
⬡	DOOR LOCK POWER AND REX SWITCH COMBINED: 3/4" EMT.
⬡	DOOR POSITION SWITCH: 1/2" EMT.
⬡	REX SWITCH: 1/2" EMT.
⬡	FIRE ALARM INTERFACE: 1/2" EMT.
⬡	3/4" EMT.



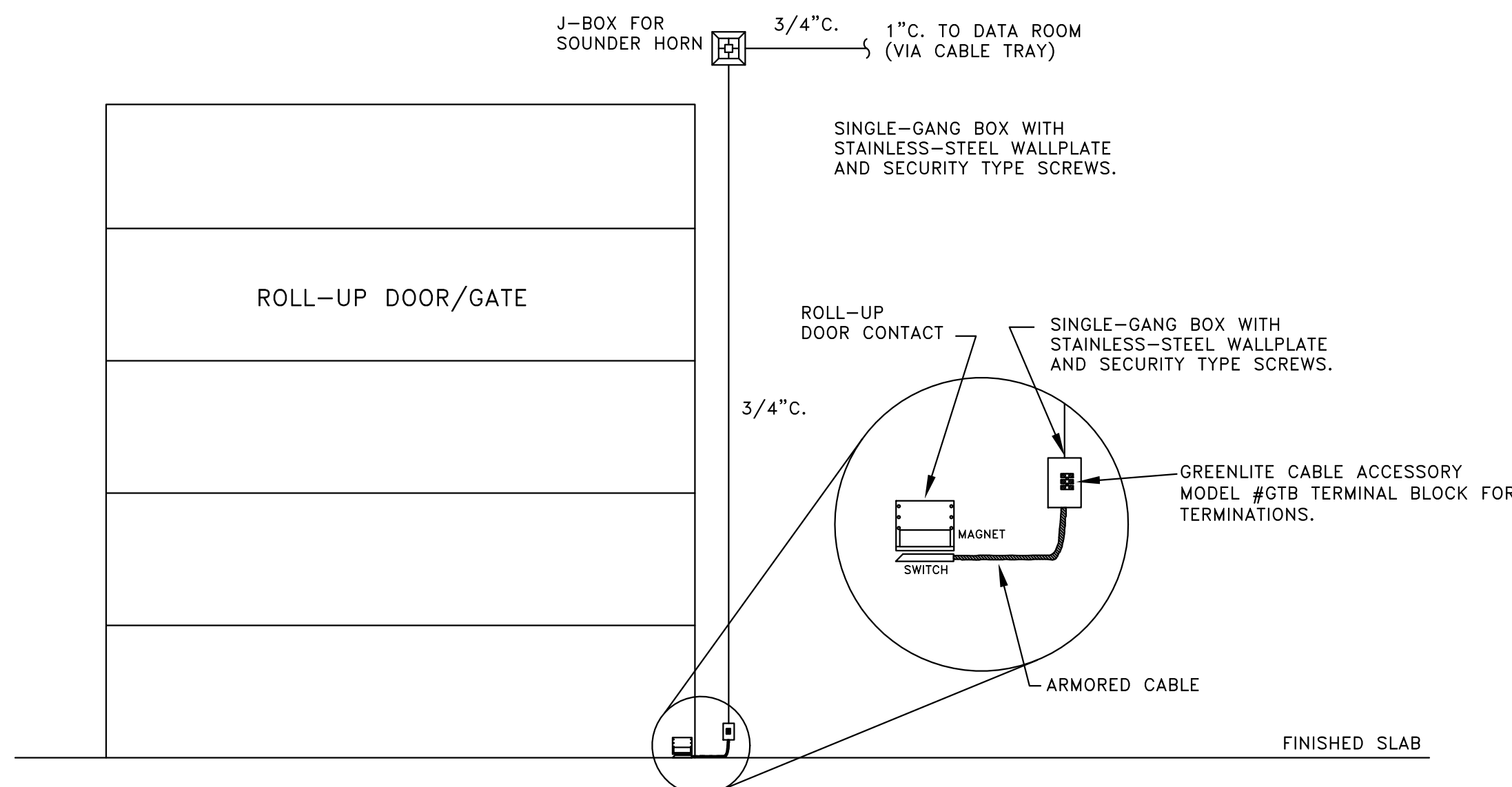
2 ENLARGED PLAN ACCESS CONTROL JUNCTION BOX

E3.0 SCALE: NOT TO SCALE



3 TYPICAL SINGLE DOOR DETAIL ACCESS CONTROLLED DOORS

E3.0 SCALE: NOT TO SCALE



4 TYPICAL DOOR DETAIL MONITORED OVERHEAD DOORS

E3.0 SCALE: NOT TO SCALE

Branch Panel: LB													
Location: MECHANICAL 201				Volts: 120/208 Wye				A.I.C. Rating: 10,000					
Supply From: SAUNA PANEL				Phases: 3				Mains Type: MLO					
Mounting: Surface				Wires: 4				Mains Rating: 60 A					
Enclosure: Type 1								MCB Rating: 60 A					
Notes:													
PROVIDE A GFCI TYPE CIRCUIT BREAKER FOR CIRCUIT(S) 3.													
CKT	Circuit Description	Wire ID	Trip	Poles	A	B	C	Poles	Trip	Wire ID	Circuit Description	CKT	
1	QUAD - 102	20 A	1	0.4 kVA	0.0...			1	20 A		Spare	2	
3	EWV	20 A	1			0.2...	2.7...					4	
5	RECPS	20 A	1				0.8...	2.7 kVA			MINI-SPLIT	6	
7	OVERHEAD DOOR	20 A	1	1.2 kVA	1.9...			1	20 A		HAND DRYER	8	
9	FAN CF-2	20 A	1			1.2...	1.2...		20 A		FAN CF-1	10	
11	RECPS - MECH	20 A	1				0.4...	0.6 kVA	1	20 A	RECPS.	12	
13	ACCESS CONTROL	20 A	1	1.2 kVA	0.0...			1	20 A		Spare	14	
15	Spare	20 A	1			0.0...	0.0...		20 A		Spare	16	
17	Spare	20 A	1				0.0...	0.0 kVA	1	20 A	Spare	18	
					Total Load:	4.7 kVA	5.3 kVA	4.5 kVA					
					Total Amps:	39 A	44 A	38 A					
Legend:													
* 2#8, 1#10 GROUND IN 3/4" CONDUIT.													
Panel Totals													
Total Conn. Load: 14508 VA													